

## HISTORIC AND DESIGN REVIEW COMMISSION

December 07, 2022

**HDRC CASE NO:** 2022-560  
**ADDRESS:** 227 W GRAMERCY  
**LEGAL DESCRIPTION:** NCB 3970 BLK D LOT 29  
**ZONING:** R-5, H  
**CITY COUNCIL DIST.:** 1  
**HIST. DIST. NAME:** Monte Vista  
**APPLICANT:** Darian Mason/Peli and Mason Architecture Shop  
**OWNER:** Aaron Prado/ PRADO AARON ELLINGTON & LOREN ELAINE  
**TYPE OF WORK:** Partial demolition (primary and accessory), construction of two-story additions (primary and accessory)  
**APPLICATION RECEIVED:** June 6, 2022  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Jessica Anderson

### REQUEST:

The applicant requests a Certificate of Appropriateness for approval to:

1. Demolish a small addition on the rear of the primary structure.
2. Construct a two-story addition to the rear of the primary structure.
3. Demolish an addition and carport on the garage.
4. Construct a two-story addition to the garage.
5. Add bike and utility enclosures to the west side of the backyard.
6. Add a pervious terrace to the west side of the backyard.
7. Add landscaping.

### APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations*

#### 7. Architectural Features: Porches, Balconies, and Porte-Cocheres

##### A. MAINTENANCE (PRESERVATION)

- i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

##### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

#### 9. Outbuildings, Including Garages

## A. MAINTENANCE (PRESERVATION)

- i. *Existing outbuildings*—Preserve existing historic outbuildings where they remain.
- ii. *Materials*—Repair outbuildings and their distinctive features in-kind. When new materials are needed, they should match existing materials in color, durability, and texture. Refer to maintenance and alteration of applicable materials above, for additional guidelines.

## B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Garage doors*—Ensure that replacement garage doors are compatible with those found on historic garages in the district (e.g., wood paneled) as well as with the principal structure. When not visible from the public right-of-way, modern paneled garage doors may be acceptable.
- ii. *Replacement*—Replace historic outbuildings only if they are beyond repair. In-kind replacement is preferred; however, when it is not possible, ensure that they are reconstructed in the same location using similar scale, proportion, color, and materials as the original historic structure.
- iii. *Reconstruction*—Reconstruct outbuildings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the primary building and historic patterns in the district. Add permanent foundations to existing outbuildings where foundations did not historically exist only as a last resort.

## *Historic Design Guidelines, Chapter 3, Guidelines for Additions*

### 1. Massing and Form of Residential Additions

#### A. GENERAL

- i. *Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. *Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. *Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

#### B. SCALE, MASSING, AND FORM

- i. *Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. *Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. *Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. *Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

### 3. Materials and Textures

#### A. COMPLEMENTARY MATERIALS

- i. *Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.



- iii. *Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

#### B. INAPPROPRIATE MATERIALS

- i. *Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

#### C. REUSE OF HISTORIC MATERIALS

- ii. *Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

### 4. Architectural Details

#### A. GENERAL

- i. *Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. *Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

#### Standard Specifications for Windows in Additions and New Construction

- **GENERAL:** New windows on additions should relate to the windows of the primary historic structure in terms of materiality and overall appearance. Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high-quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below. Whole window systems should match the size of historic windows on property unless otherwise approved.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash.
  - This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- **COLOR:** Wood windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- **INSTALLATION:** Wood windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- **FINAL APPROVAL:** If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

#### FINDINGS:

- a. The property at 277 W Gramercy is a two-story Neoclassical residence with detached garage built c. 1927. The address first appears in the 1927-28 San Antonio city directory. The house, which sits on the corner of W

Gramercy Pl and Belknap Pl, is clad in brick with one-over-one wood windows and a composition shingle gable-on-hip roof. The porch features double-height columns and a centered entrance. The brick-clad garage has a hipped composition shingle roof, and the divided double bay opens west onto Belknap Pl. The double-wide full-width driveway is covered by a metal carport; the east side of the garage has a single-story addition of wood construction. A low brick wall with an entrance to the backyard connects the house to the garage along the east side of the yard. The house contributes to the Monte Vista local historic district.

- b. CASE HISTORY: On June 29, 2022, the applicant requested conceptual approval to demolish a small addition on the rear of the primary structure, construct a two-story addition to the rear of the primary structure, demolish an addition and carport on the garage, construct a two-story addition to the garage, and add a permeable terrace and low wall to the east side of the parcel. The Historic and Design Review Commission granted conceptual approval to all items with staff stipulations.
- c. DEMOLITION OF REAR ADDITION (PRIMARY): The applicant requests approval to demolish a one-story addition at the rear of the house. Staff finds the rear addition demolition appropriate since it is not original to the structure.
- d. REAR ADDITION (PRIMARY): The applicant requests approval to construct a two-story addition to the rear of the property, to include both interior space and a covered porch. Staff finds the proposed addition generally appropriate.
- e. ARCHITECTURAL DETAILS (MATERIALS, PRIMARY ADDITION): The Guidelines for New Construction 5.A.iii. and iv. note that new accessory structures should relate to the period of construction of the primary historic structure on the lot through the use of complementary materials and simplified architectural details. The applicant suggests a wood or Hardi board siding for the addition; should the applicant choose Hardi board, it should be installed with a 4" reveal, smooth side out.
- f. WINDOWS (PRIMARY ADDITION): The applicant proposes a combination of divided-lite aluminum clad sash windows with divided-lite transoms and aluminum-clad wood sliding windows. Windows on the house are one-over-one wood windows of equal sash size. Per Standard Specifications for Windows in Additions and New Construction, new windows on additions should relate to the windows of the primary historic structure in terms of materiality and overall appearance. Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. Staff finds the proposed window profiles generally appropriate.
- g. DEMOLITION OF ADDITIONS (GARAGE): The applicant requests approval to demolish a metal carport and one-story addition to the rear detached garage. Staff finds the demolitions appropriate since they are not original to the structure.
- h. ADDITION (GARAGE): The applicant requests approval to construct a two-story addition to the east side of the detached garage. The Guidelines for New Construction 5.A.iii. and iv. note that new accessory structures should relate to the period of construction of the primary historic structure on the lot through the use of complementary materials and simplified architectural details. Staff finds the garage addition generally conforms to guidelines.
- i. WINDOWS (GARAGE ADDITION): The applicant proposes aluminum clad windows on the second floor of the garage addition that are fixed asymmetrical windows with six lites. Windows on the house are one-over-one wood windows of equal sash size. Per Standard Specifications for Windows in Additions and New Construction, new windows on additions should relate to the windows of the primary historic structure in terms of materiality and overall appearance. Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. Staff finds the proposed window profiles on the garage addition generally appropriate.
- j. BIKE AND UTILITY ENCLOSURES: The applicant proposes one bike enclosure and one utilities/mechanical enclosure that flank a proposed terrace. The enclosures are constructed of painted fixed metal panels that are 3.5 feet tall; the bike enclosure has a standing-seam metal roof that increases the structure's height to 4 feet. Historic Design Guidelines for Additions 3.A.i says any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure. Staff finds the proposed bike and utility enclosures generally appropriate.
- k. TERRACE: The applicant proposes to replace existing greenspace with a pervious terrace, situated between the proposed bike and utility enclosures. Staff finds the terrace generally appropriate.
- l. LANDSCAPING: The applicant proposes new landscaping along the west edge of the proposed biked and utility enclosures and terrace. Staff finds this conforms to guidelines.

**RECOMMENDATION:**

Staff recommends approval of item 1, demolition of a small addition on the rear of the primary structure, based on finding c.

Staff recommends approval of item 2, construction of a two-story addition to the rear of the primary structure, based on findings d, e, and f, with the following stipulations:

- i. That should the applicant choose Hardi board, it be installed with a 4" reveal, smooth side out.

Staff recommends conceptual of item 3, demolition of an addition and carport on the garage, based on finding g.

Staff recommends approval of item 4, construction of a two-story addition to the garage, based on findings h and i.

Staff recommends approval of item 5, construction of bike and utility enclosures, based on item j, with the following stipulation:

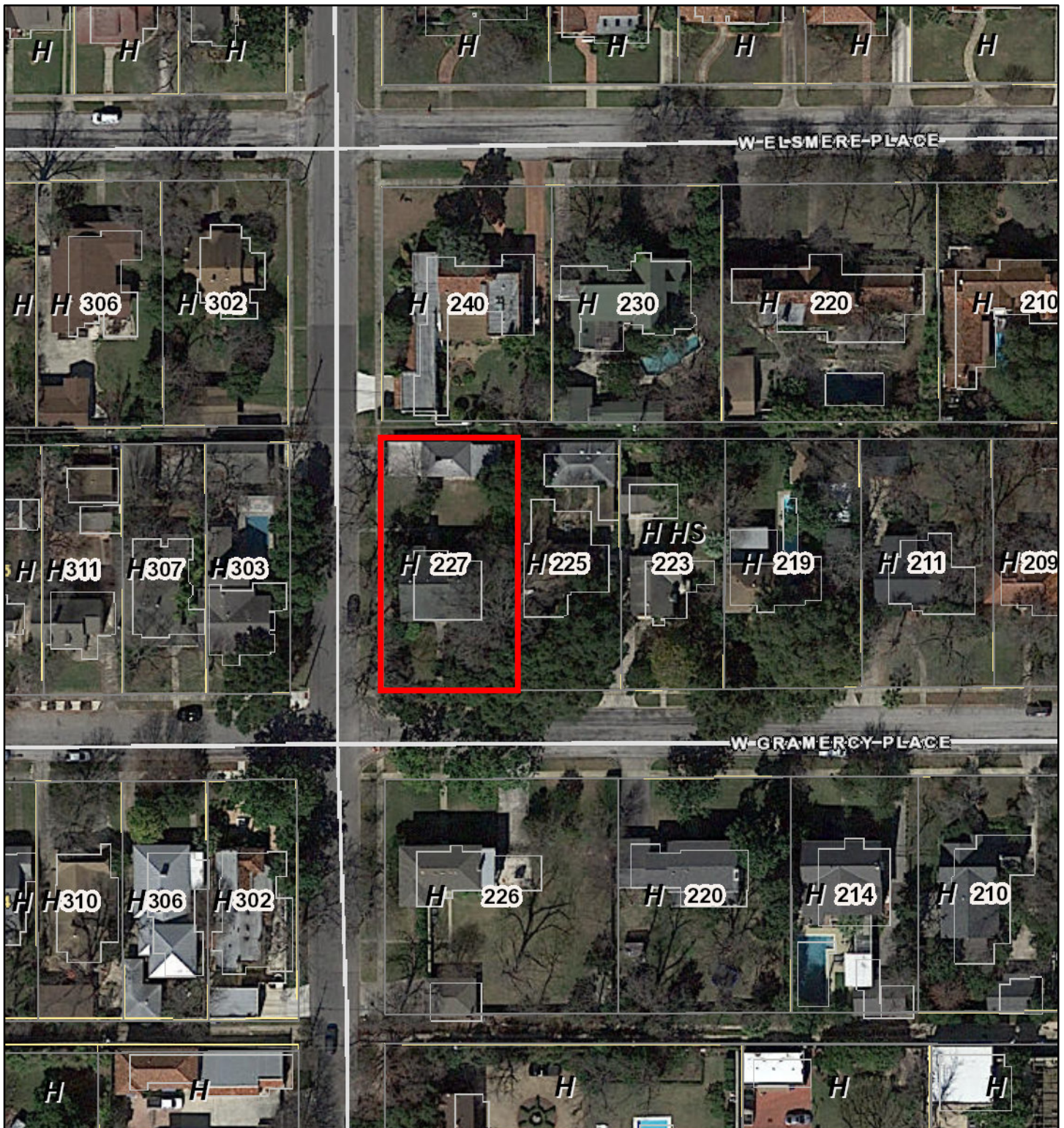
- i. That the applicant provides material details or samples of the proposed metal cladding and roofing for the enclosures.

Staff recommends approval of items 6 and 7, construction of a permeable terrace and addition of landscaping, based on findings k and l, with the following stipulation:

- i. That the applicant submits a comprehensive landscaping plan.










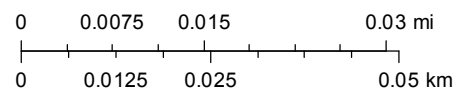
# City of San Antonio One Stop



June 23, 2022

1:1,000

- |   |                           |   |                          |
|---|---------------------------|---|--------------------------|
|  | CoSA Addresses            |  | Zoning Overlay Label     |
|  | Community Service Centers |  | COSA City Limit Boundary |
|  | Pre-K Sites               |   |                          |
|  | CoSA Parcels              |   |                          |
|  | BCAD Parcels              |   |                          |



## **227 W Gramercy Place**

Project Description – Office of Historic Preservation

11/11/2022

To:

Office of Historic Preservation

Owner, Applicant is requesting review and approval from the Office of Historic Preservation to:

Construct a new addition to the main house and a new addition to the existing garage. Both additions are located behind the existing structure that faces the street. The main house addition will allow for a full-size kitchen on the ground floor of the main house with a relocated bedroom above. The garage addition will be used as a living space that looks out on the back yard.

The existing house is a masonry structure built in the early 1900's and designed by Harvey P. Smith.

Location - The main house addition is on the back side of the house and completely hidden from view from Gramercy Place. Along Belknap, the addition is behind the existing back wing of the house and along the eave of the existing roof.

Materials - The front of the house incorporates wood columns and wood trim at the front porch. In response to the existing brick and existing wood trim, the new addition will comprise of a simple two-story wood-sided addition with an attached porch. The ground level back porch is open air while the second floor is a screened-in porch. All exterior surfaces of the addition will be painted.

Garage Addition - The project will include a removal of the existing carport that faces Belknap and the existing addition to the original garage at the East of the garage. The existing wood garage doors and windows will be refurbished and repainted. as part of the regular maintenance of the structure. The existing man door into the garage are not original and will be replaced with painted wood door panels. The garage addition will be located to the east of the original structure and adheres to the setback requirements along the alley. The height of the addition is 19'-3" from the existing grade. The addition stands 3'-2" above the ridge of the existing garage. The addition will be constructed as an enclosed porch comprised of a clad wood structure with painted wood sashes in the openings. All exterior surfaces of the addition will be painted with a uniform flat finish.

Submitted on behalf of owners Aaron and Lori Prado.

Respectfully,

Darian Grant Mason, Architect

Peli and Mason Architecture Shop

1149 E Commerce, Suite 200, San Antonio, TX 78205

e: [darian@pamastx.com](mailto:darian@pamastx.com) p: (210) 504-6494

# Prado Residence Architectural Specifications Abbreviated

**Péli And Mason Architecture Shop**  
1149 E. Commerce Street, Suite 200  
San Antonio, TX 78205

June 07, 2022  
San Antonio, Texas

## **Project Information**

**Project Name:** Prado Residence  
**Owner:** Aaron and Lori Prado  
**Project Address:** 227 W Gramercy Place  
San Antonio, TX 78212

**Architect:** Peli and Mason Architecture Shop  
**Project Architect:** Darian Grant Mason  
**Office Address:** 1149 E. Commerce Street, Suite 200  
San Antonio, TX 78205  
**Phone:** 202.957.5026  
**E-mail:** darian@pamastx.com

**Structural Engineer:** Gessner Engineering  
**Project Manager:** Evan Roe  
**Office Address:** 4455 Camp Bowie Boulevard, Suite 210  
Ft Worth, Texas 76107

## **Existing Conditions - 02 00 00**

### **Existing Primary Structure:**

Front Porch – Painted wood columns, painted horizontal wood siding shed attached to main roof structure, Masonry and Tile Porch deck.  
Exterior Walls – Masonry veneer on wood studs  
Doors – Wood, assumed original to structure  
Windows- Wood, assumed original to structure  
Roof – Composite Shingle  
Addition to be removed – Wood framed shed structure, painted horizontal wood siding, Composite Shingle roof

### **Existing Accessory Structures:**

Exterior Walls – Masonry Veneer on wood studs at original garage.  
Man Doors: Hollow Core doors, not original  
Garage Overhead Door: Painted Wood, assumed original to structure.  
Windows, Painted Wood, assumed original to structure.  
Roof – Composite Shingle  
Carport to be removed – Metal posts with metal girders and roof.  
Garage addition to be removed - Wood Siding panel on wood studs, flat membrane roof.

### **Existing Site Structures:**

Garden Wall: Triple wythe loadbearing masonry wall

# **Prado Residence Architectural Specifications** **Abbreviated**

**Péli And Mason Architecture Shop**  
1149 E. Commerce Street, Suite 200  
San Antonio, TX 78205

June 07, 2022  
San Antonio, Texas

## **New Construction – Exterior Finishes**

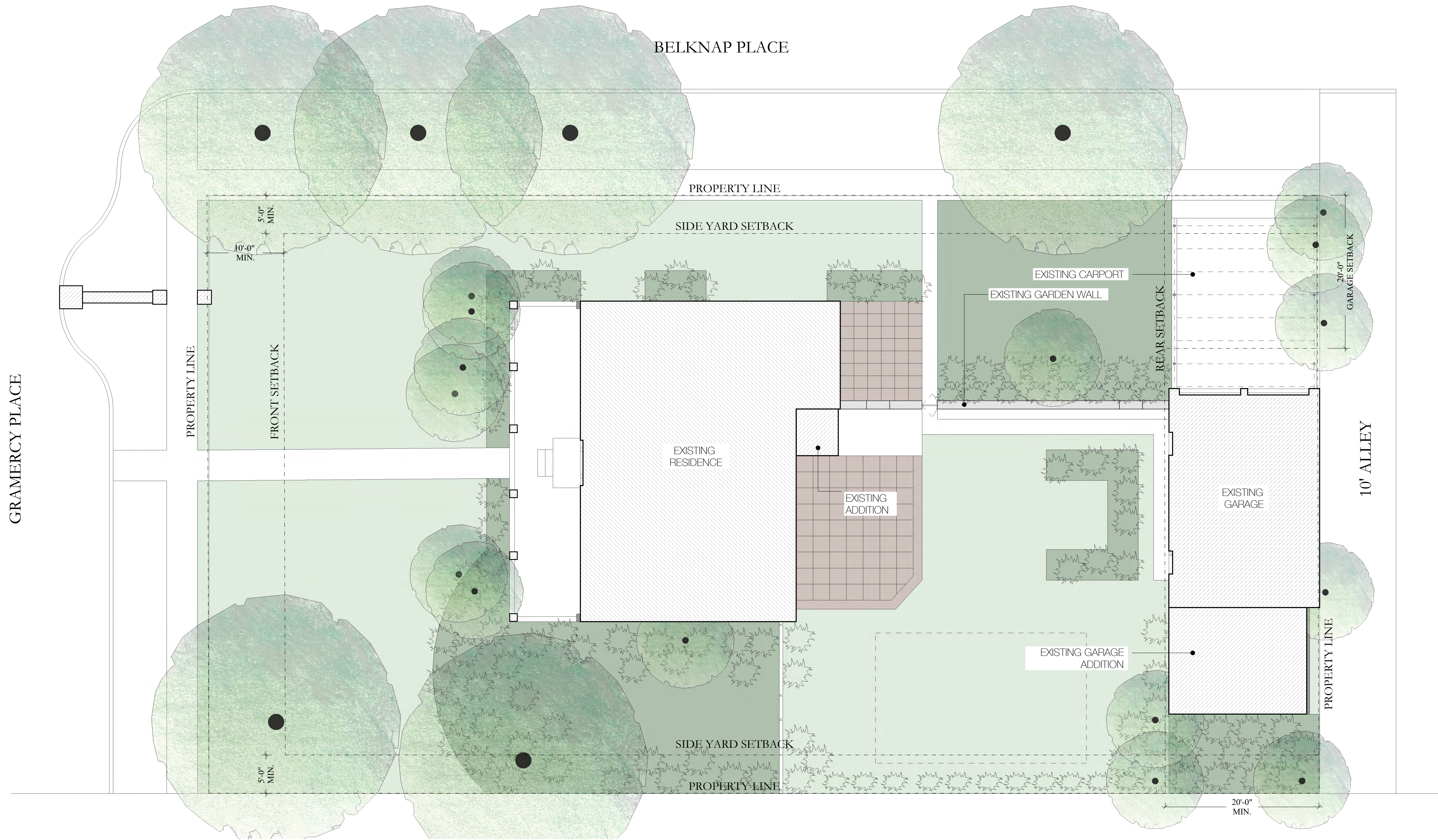
### **Primary Structure Addition:**

Exterior Walls –	Painted Horizontal siding, 4” Exposure, Rot resistant wood; mahogany or similar. Alternate: Hardie board siding.
Exposed Framing -	Painted 6”x6” Wood members, Rot resistant wood; mahogany or similar.
Wood Deck -	Stained 5/4” x4” T&G Wood decking
Exterior Door -	Painted Metal clad wood door; Pella or Similar
Windows -	Painted Metal clad wood window; Pella or Similar
Screened Sashes -	Painted Wood sashes, tear resistant metal screen.

### **Accessory Structure Addition:**

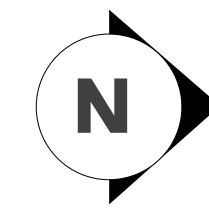
Exposed Foundation -	Board Formed Concrete Foundation
Exposed Framing -	Painted wood members, Rot resistant wood; mahogany or similar.
Clad Framing -	Painted wood trim clad over, structural steel as required.
Wood Deck -	Stained 5/4” x4” T&G wood decking
Exterior Door -	Painted Metal clad wood door; Pella or Similar
Windows -	Painted Metal clad wood window; Pella or Similar
Fixed Panel Sashes -	Painted Fixed wood panels with fixed slats. Rot resistant wood; mahogany or similar.





1 AS - BUILT SITE PLAN

Scale: 1/8"=1'-0"



seal  
Not for  
construction,  
permitting or  
regulatory approval  
date: November 10, 2022

architect  
**pamas**  
Pali And Mason Architecture Shop  
a: 1149 E. Commerce St  
San Antonio, TX 78205

project name  
**Prado Residence**  
Remodel and Addition  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title  
**As-Built Site Plan**

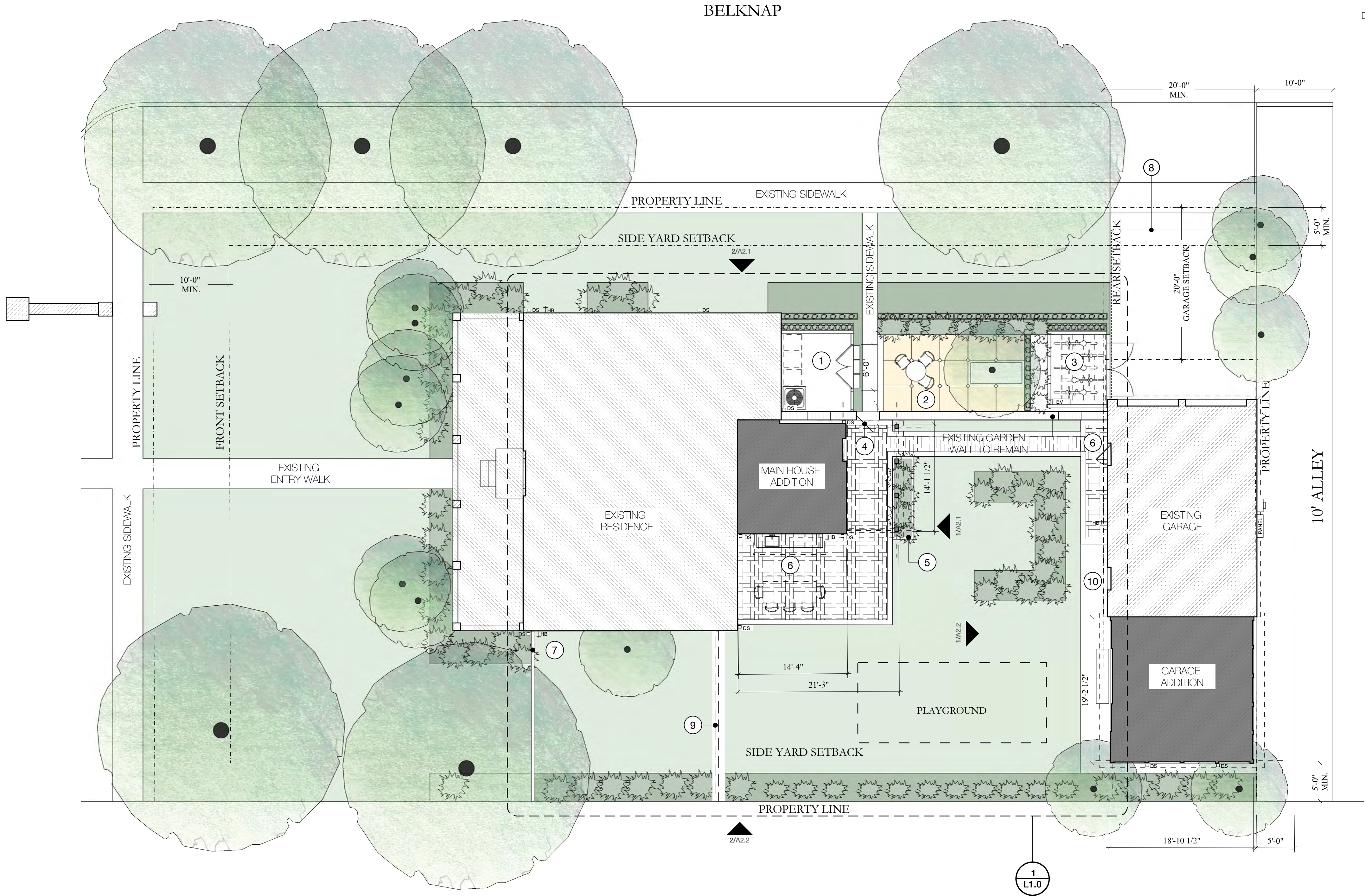
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revisions

drawing number  
**R1.0**  
11/10/2022

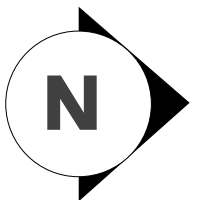


GRAMERCY PLACE



1 SITE PLAN

Scale: 1/8"=1'-0"



GENERAL NOTES

1. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONDITIONS UNCOVERED UPON DEMOLITION

LEGEND

- EXISTING MASONRY SITE WALL
- EXISTING STRUCTURE
- NEW ADDITION
- DOWNSPOUT
- HOSE BIB
- ELECTRIC SERVICE

NOTES

1. UTILITY YARD
2. NEW PERVIOUS TERRACE
3. BIKE STORAGE
4. EXISTING GATE AT EXISTING MASONRY SITE WALL
5. HERB GARDEN
6. NEW PAVED PATIO
7. RELOCATED WROUGHT IRON FENCE
8. EXISTING CARPORT TO BE REMOVED
9. EXISTING FENCING TO BE RELOCATED
10. NEW PAVED WALK

seal

Not for  
construction,  
permitting or  
regulatory approval

date: November 27, 2022

architect

**pamas**

Pali And Mason Architecture Shop  
1149 E. Commerce St  
San Antonio, TX 78205

project name

**Prado Residence**  
**Remodel and Addition**  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title

**Site Plan**

phase

**CD**

revisions

drawing number

**A1.0**

11/27/2022





PRADO RESIDENCE - REMODEL AND ADDITION  
80% Construction Set  
November 11, 2022

THESE DRAWINGS ARE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. NO REPRODUCTIONS, PUBLISHING,  
OR USE IN ANY WAY MAY BE DONE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

seal  
Not for  
construction,  
permitting or  
regulatory approval  
date: November 11, 2022

architect  
**pamas**  
Pali And Mason Architecture Shop  
1149 E. Commerce St.  
San Antonio, TX 78205

project name  
**Prado Residence**  
Remodel and Addition  
227 W. Gramercy Place,  
San Antonio, TX 78212

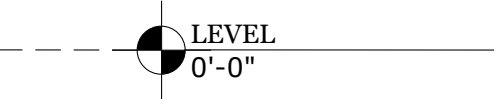
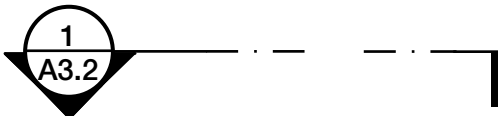
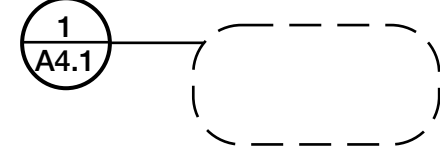

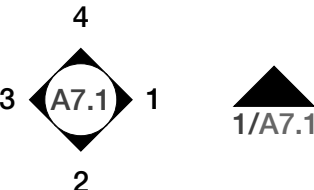
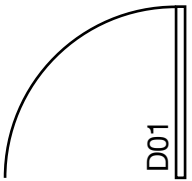

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**Cover Page**

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**CD**

revisions

drawing number  
**G1.0**  
11/11/2022



Drawing Symbols	
	DATUM POINT, DIMENSION POINT
	SECTION MARKER
	DETAIL MARKER
	EXTERIOR ELEVATION MARKER
	INTERIOR ELEVATION MARKER
	DOOR SYMBOL DOOR MARKER
	WINDOW SYMBOL WINDOW MARKER

Project Information	
Client:	Aaron and Lori Prado
Project Name:	Prado Residence - Remodel and Addition
Address:	227 W. Gramercy Place San Antonio, TX 78212
Legal Description:	NCB 3970 BLK D Lot 29
Zoning:	R-5
Neighborhood:	Monte Vista II Historic (SA)

Architect and Engineer of Record	
Architect:	Peli and Mason Architecture Shop 1149 E. Commerce St, Suite 200 San Antonio, TX 78205 Contact: Darian Mason p: 210 504 6494 e: <a href="mailto:darian@pamastx.com">darian@pamastx.com</a>
Structural Engineer:	Gessner Engineering 11913 Starcrest Dr San Antonio, TX 78247 Contact: p: e:

Applicable Codes	
Residential Code	International Residential Code (IRC 2018)
Fire Code	International Fire Code (IFC 2018)
Mechanical Code	International Mechanical Code (IMC 2018)
Plumbing Code	International Plumbing Code (IPC 2018)
Electrical Code	National Electrical Code (NEC 2017)
Energy Code	International Residential Code Chapter 11 (IRC 2018)
COSA UDC	City of San Antonio Unified Development Code

Drawing List		
Architectural:		
1.	G1.0	Cover Page
2.	G1.1	Project Information
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4.	R1.1	As-Built Drawings - Floor Plans
5.	D1.0	Demolition Plans
6.	A1.0	Site Plan
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45.	A9.7	Perspective - Master Bath
46.	A9.8	Perspective - Master Bath
47.	A9.9	Perspective - Garage Studio Bath

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Peli And Mason Architecture Shop  
1149 E. Commerce St  
San Antonio, TX 78205

project name

**Prado Residence  
Remodel and Addition**  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title

**Project Information**

phase

**CD**

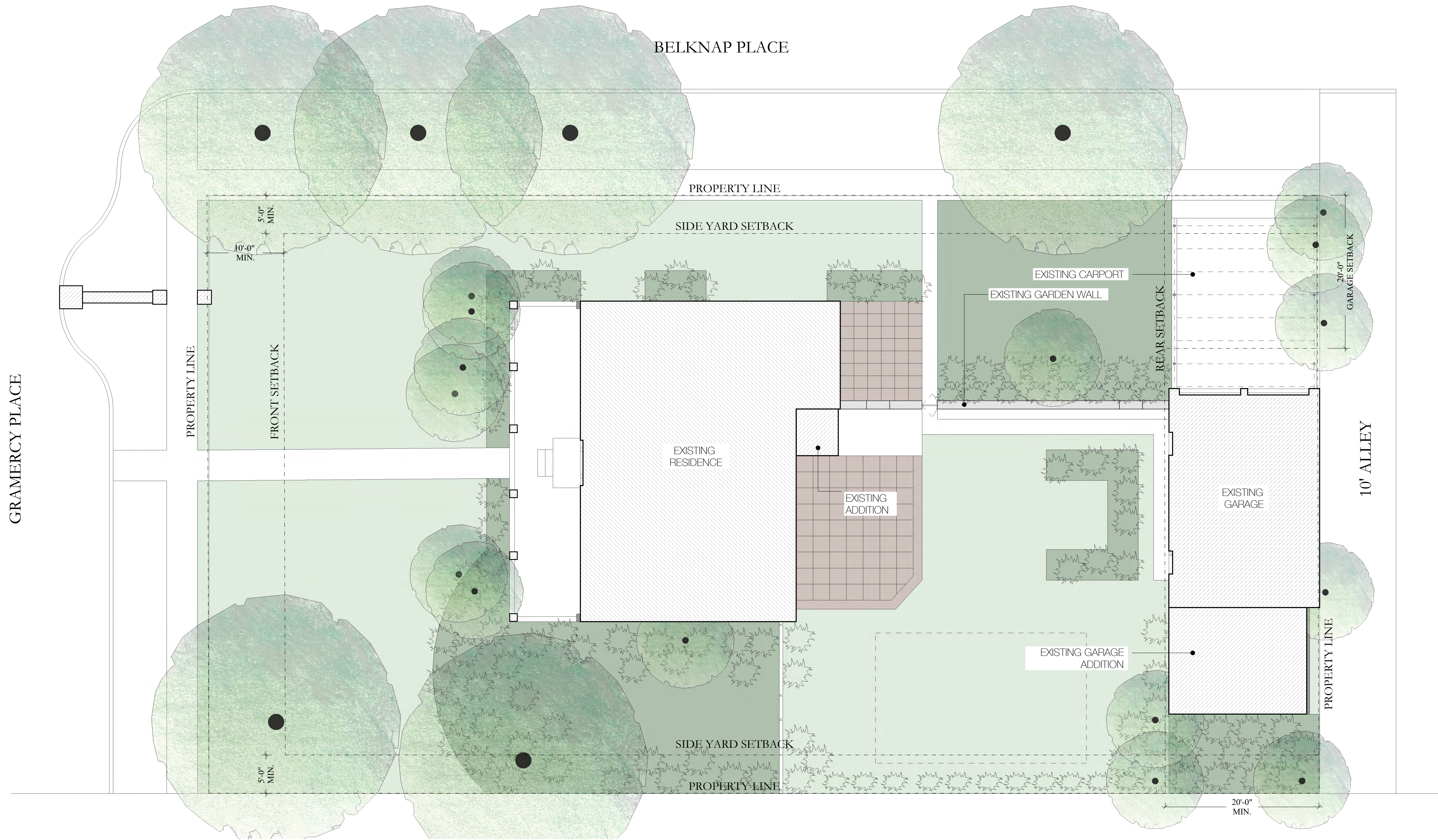
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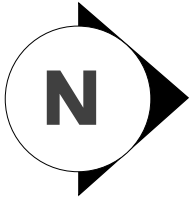
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1 AS - BUILT SITE PLAN

Scale: 1/8"=1'-0"



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As-Built Site Plan

phase

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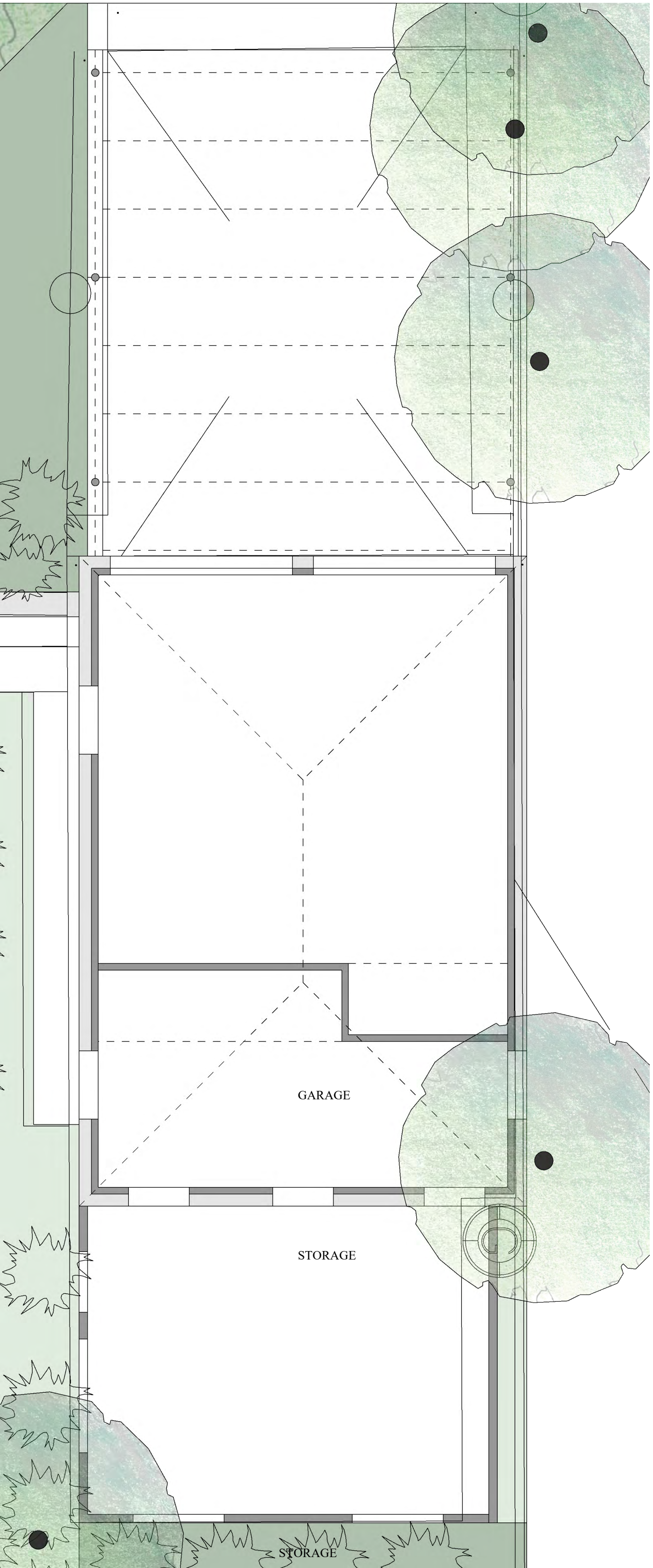
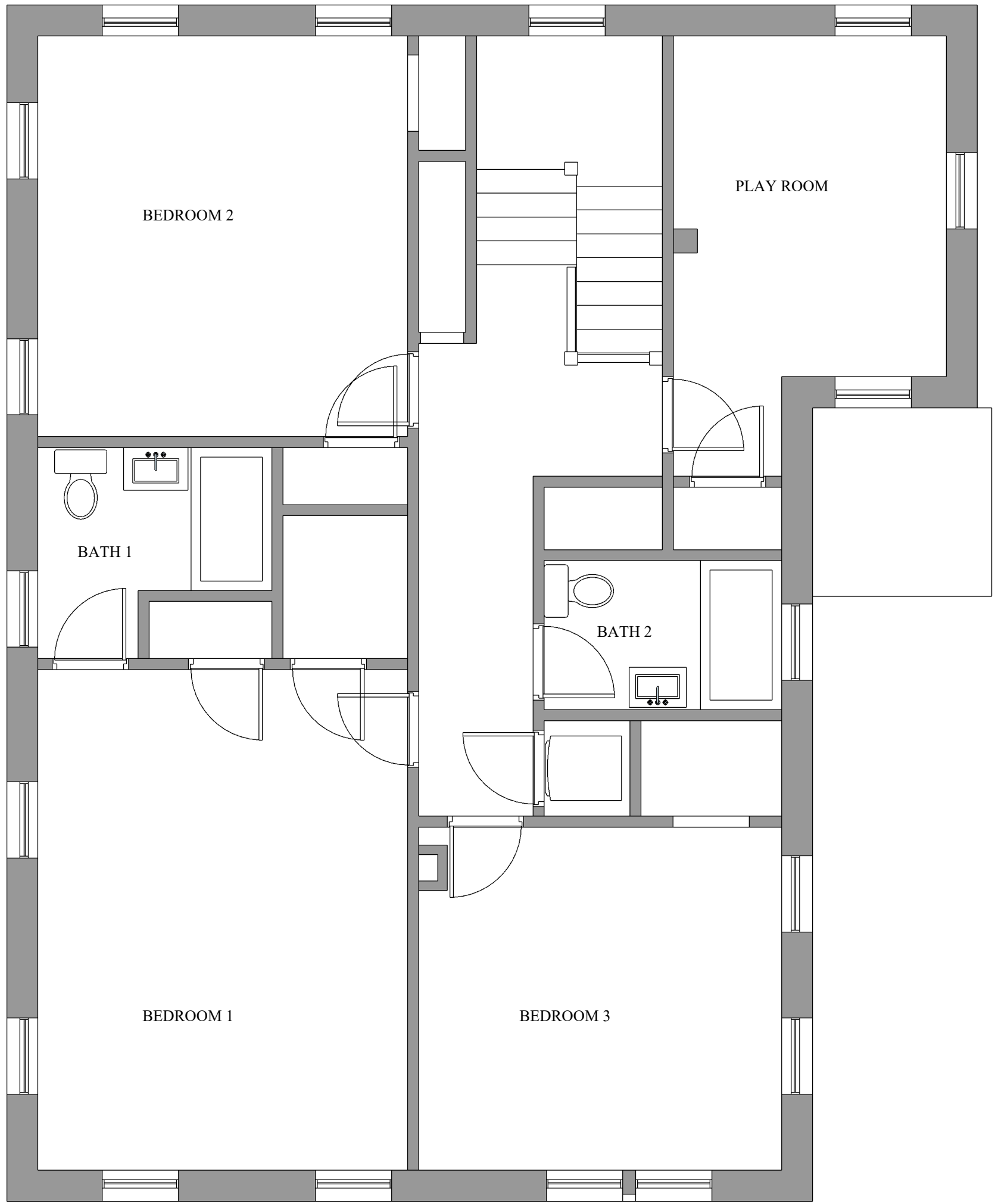
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3 AS - BUILT SECOND FLOOR PLAN - MAIN HOUSE

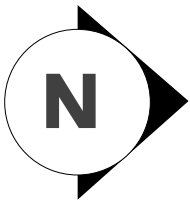
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2 AS - BUILT FIRST FLOOR PLAN - MAIN HOUSE

Scale: 1/4"=1'-0"

1 AS - BUILT FIRST FLOOR PLAN - GARAGE

Scale: 1/4"=1'-0"



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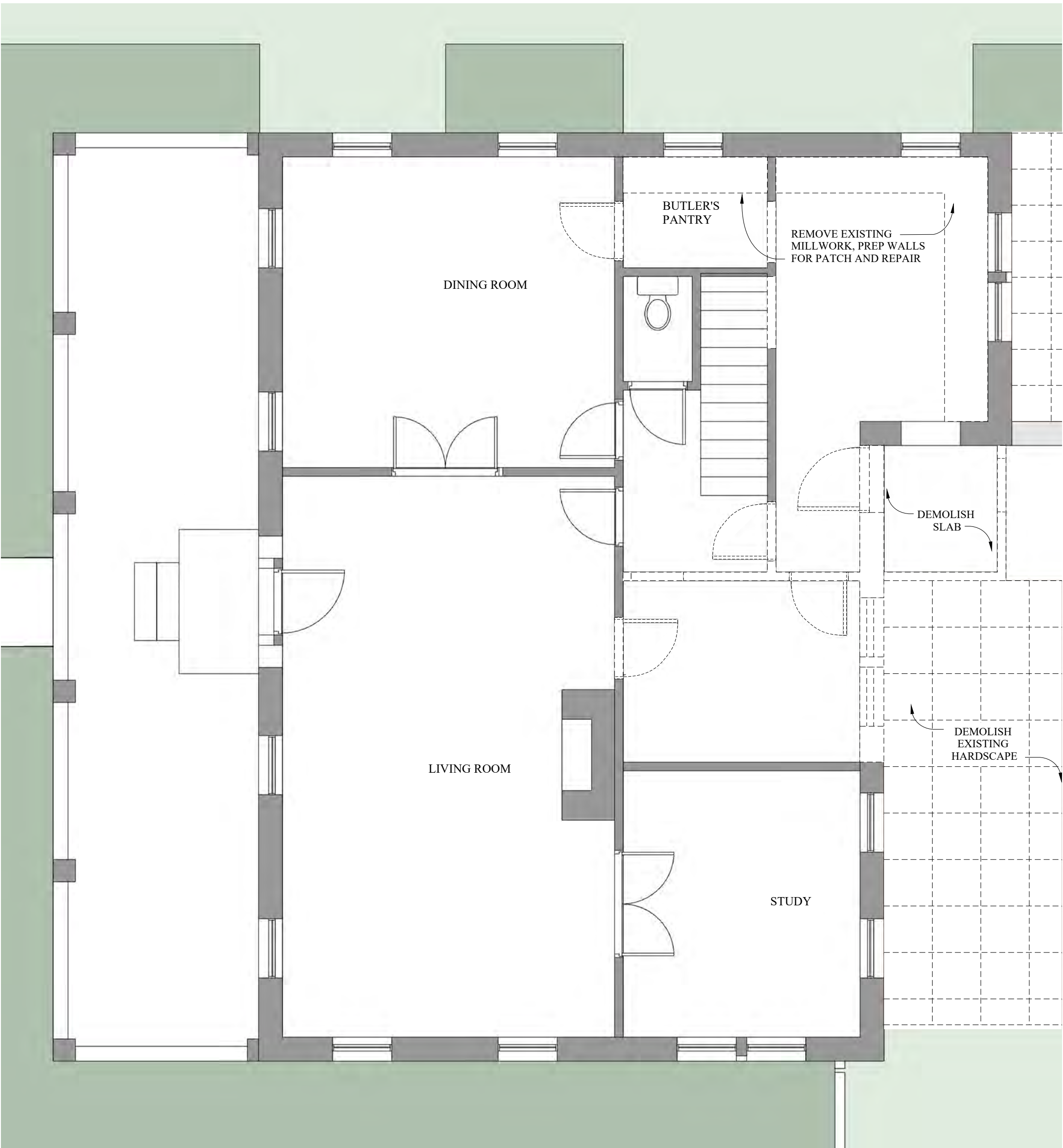
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phase  
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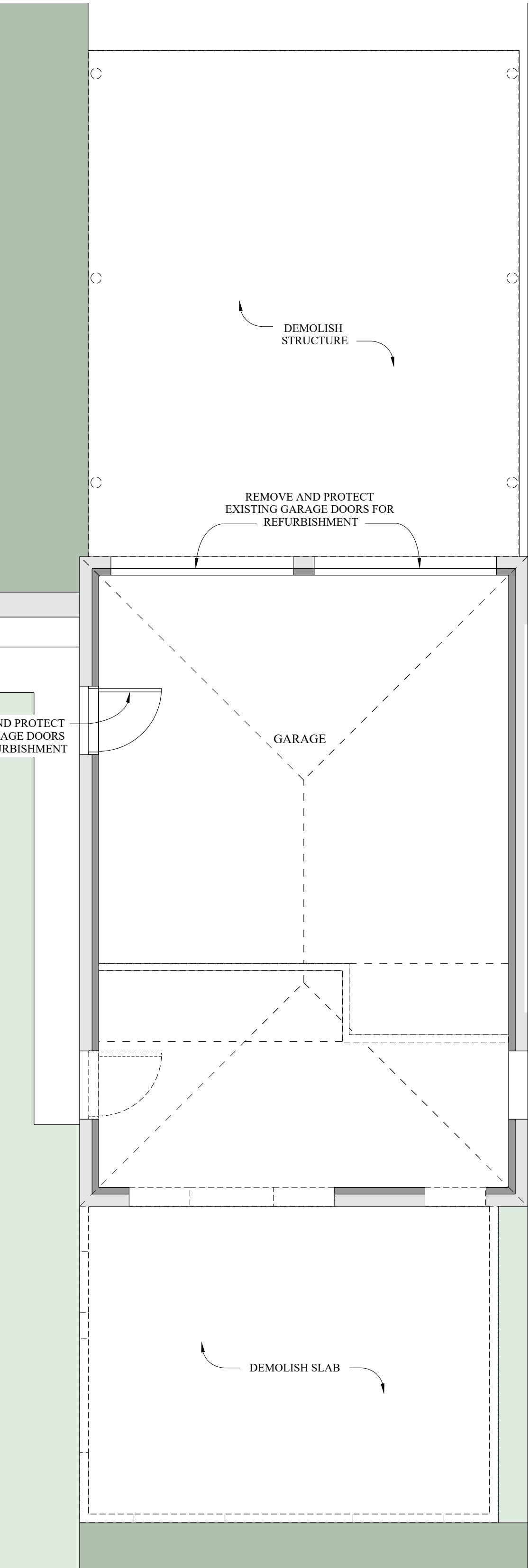
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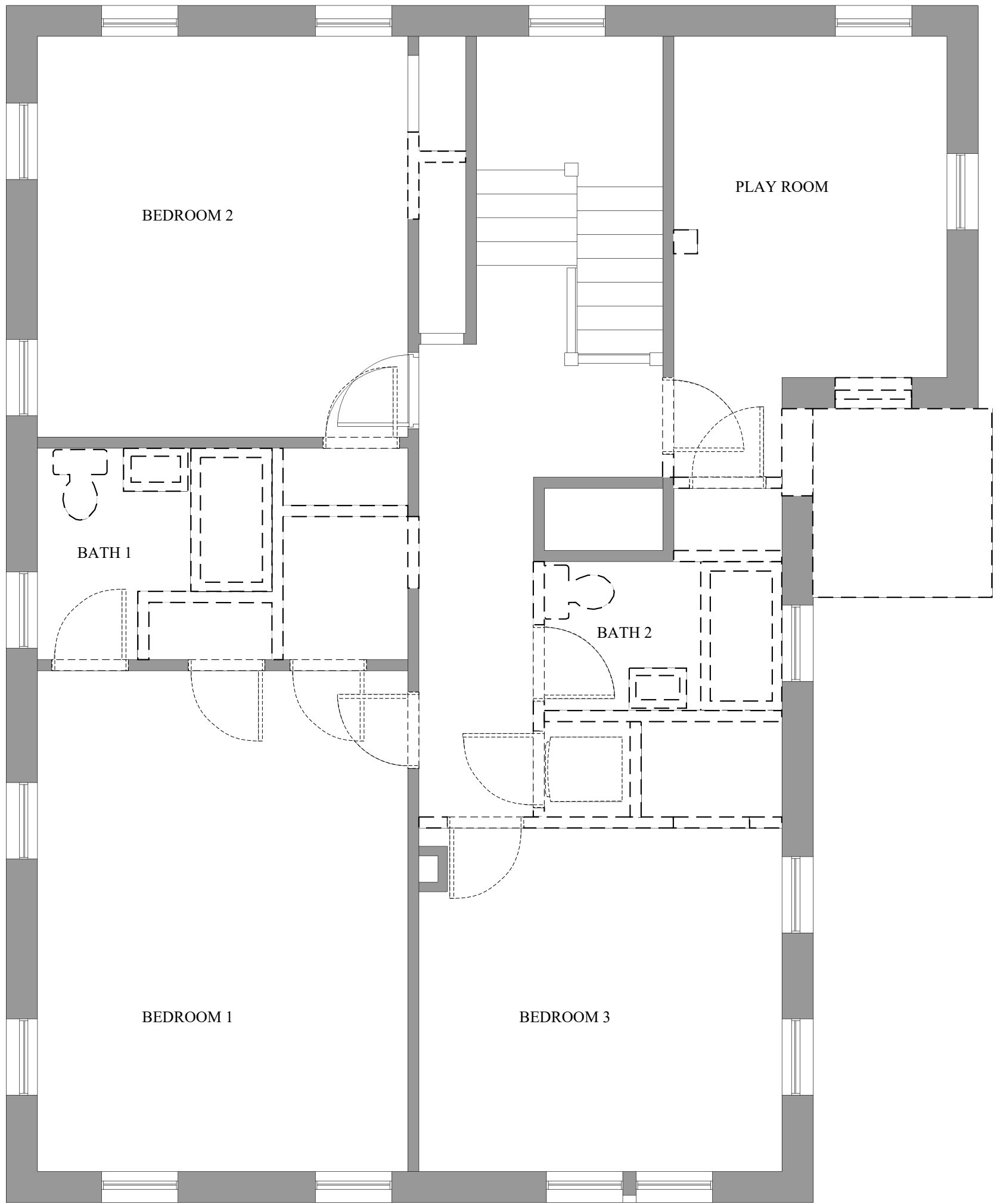
1 DEMOLITION FIRST FLOOR PLAN - MAIN HOUSE

Scale: 1/4"=1'-0"



2 DEMOLITION FIRST FLOOR PLAN - GARAGE

Scale: 1/4"=1'-0"



3 DEMOLITION SECOND FLOOR PLAN - MAIN HOUSE

Scale: 1/4"=1'-0"

GENERAL NOTES

1. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONDITIONS UNCOVERED UPON DEMOLITION
2. GENERAL CONTRACTOR TO PROTECT EXISTING FLOORING, CEILING, INTERIOR AND EXTERIOR FINISHES, WHERE NOT REMOVED.
3. REFERENCE ARCHITECTURAL PLANS FOR NEW FRAMED WALL AND OPENING SIZES, LOCATIONS.

LEGEND

REFER TO A6.3 PROJECT SCHEDULES FOR SPECIFICATIONS

- WALLS - EXISTING
- WALLS TO BE DEMOLISHED
- EXTERIOR PATIO TO BE DEMOLISHED

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sheet title

Demolition Floor Plans

phase

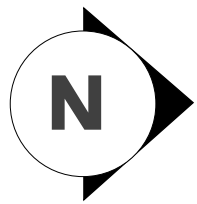
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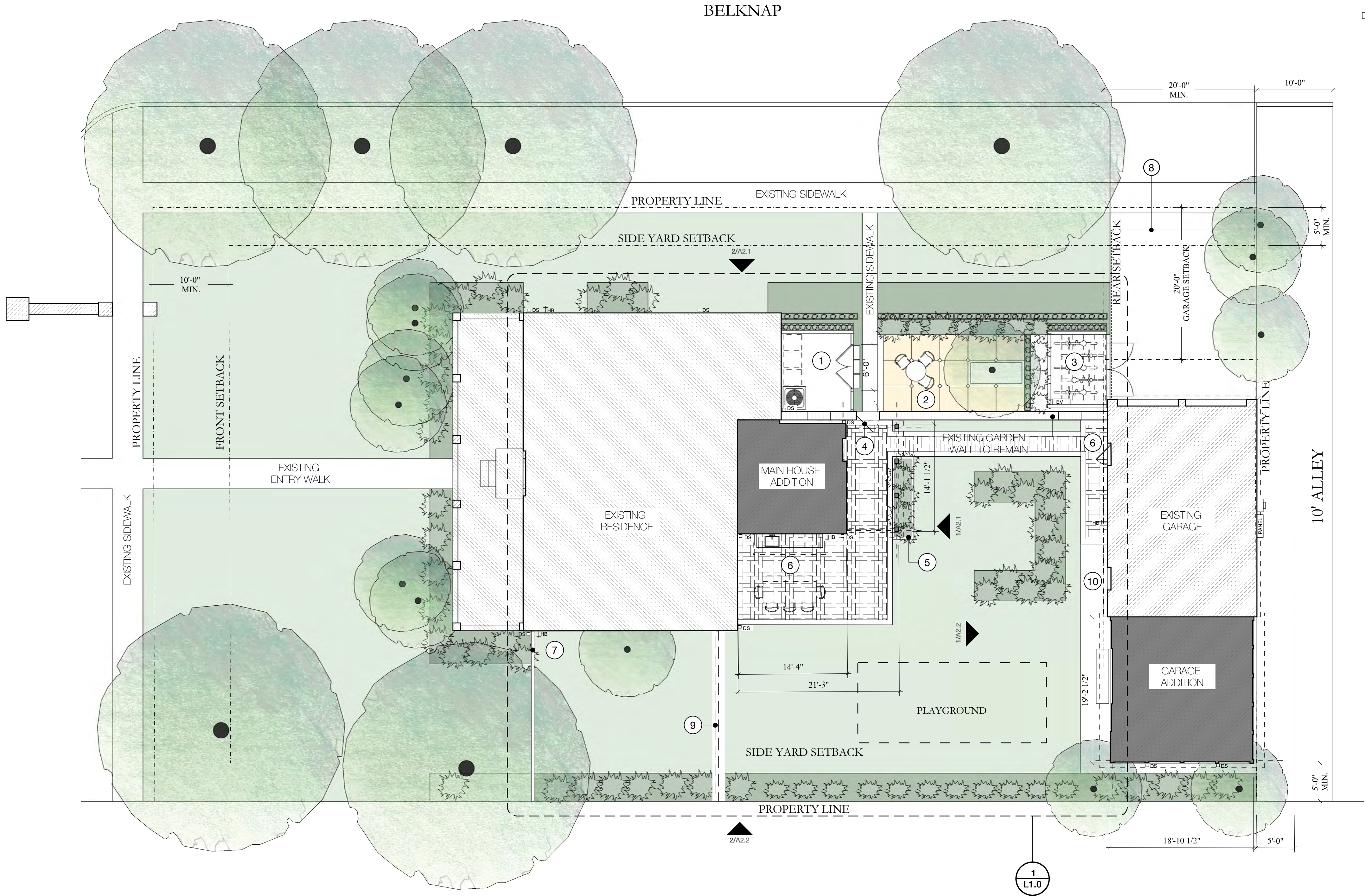
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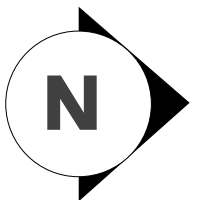


GRAMERCY PLACE



1 SITE PLAN

Scale: 1/8"=1'-0"



GENERAL NOTES

1. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONDITIONS UNCOVERED UPON DEMOLITION

LEGEND

- EXISTING MASONRY SITE WALL
- EXISTING STRUCTURE
- NEW ADDITION
- DOWNSPOUT
- HOSE BIB
- ELECTRIC SERVICE

NOTES

1. UTILITY YARD
2. NEW PERVIOUS TERRACE
3. BIKE STORAGE
4. EXISTING GATE AT EXISTING MASONRY SITE WALL
5. HERB GARDEN
6. NEW PAVED PATIO
7. RELOCATED WROUGHT IRON FENCE
8. EXISTING CARPORT TO BE REMOVED
9. EXISTING FENCING TO BE RELOCATED
10. NEW PAVED WALK

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**Prado Residence**  
**Remodel and Addition**  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title

**Site Plan**

phase

**CD**

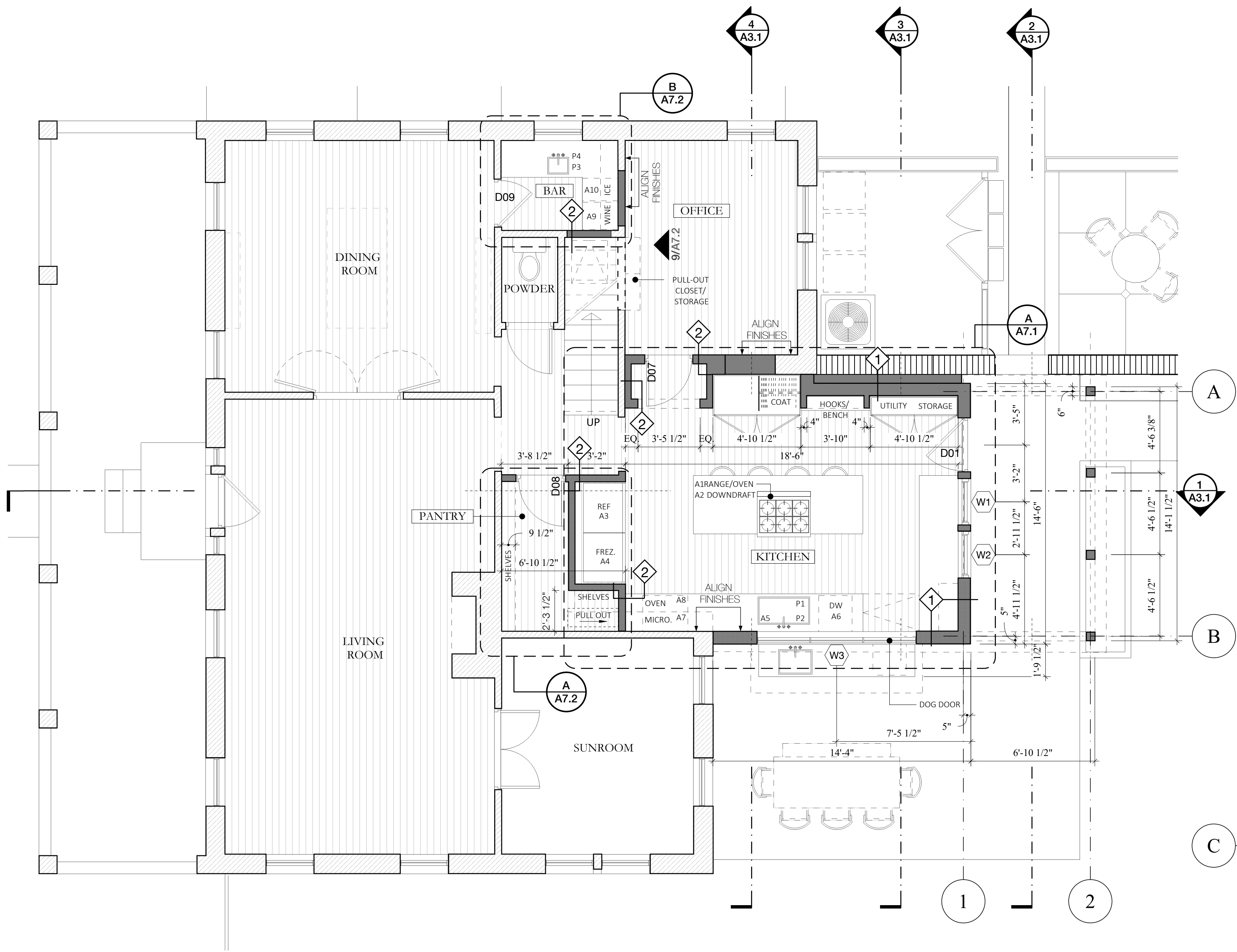
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11/27/2022





LEGEND

- EXISTING MASONRY GARDEN WALL
- EXISTING WALLS
- NEW WALLS

GENERAL NOTES

- GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONDITIONS UNCOVERED UPON DEMOLITION.
- ALL CONSTRUCTION TO CONFORM TO ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES.
- REPORT ANY AND ALL DISCREPANCIES, ERRORS, AND/OR OMISSIONS IN THESE DOCUMENTS TO THE ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
- ALL DIMENSIONS TO BE VERIFIED AT THE JOB SITE. UNDER NO CIRCUMSTANCE SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.
- WINDOWS AND DOORS ARE TO REMAIN UNLESS NOTED OTHERWISE (U.N.O.).
- REVIEW MEP AND RCP PLANS PRIOR TO FRAMING TO ALLOW FOR PROPER CENTERING OF RECESSED LIGHT FIXTURES, VENTS, ETC.
- PATCH AND REPAIR EXISTING MASONRY WALL AS REQUIRED. MATCH EXISTING.
- ALIGN FINISHES AT INTERIOR WALL PATCH AND INFILL LOCATIONS.

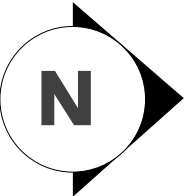
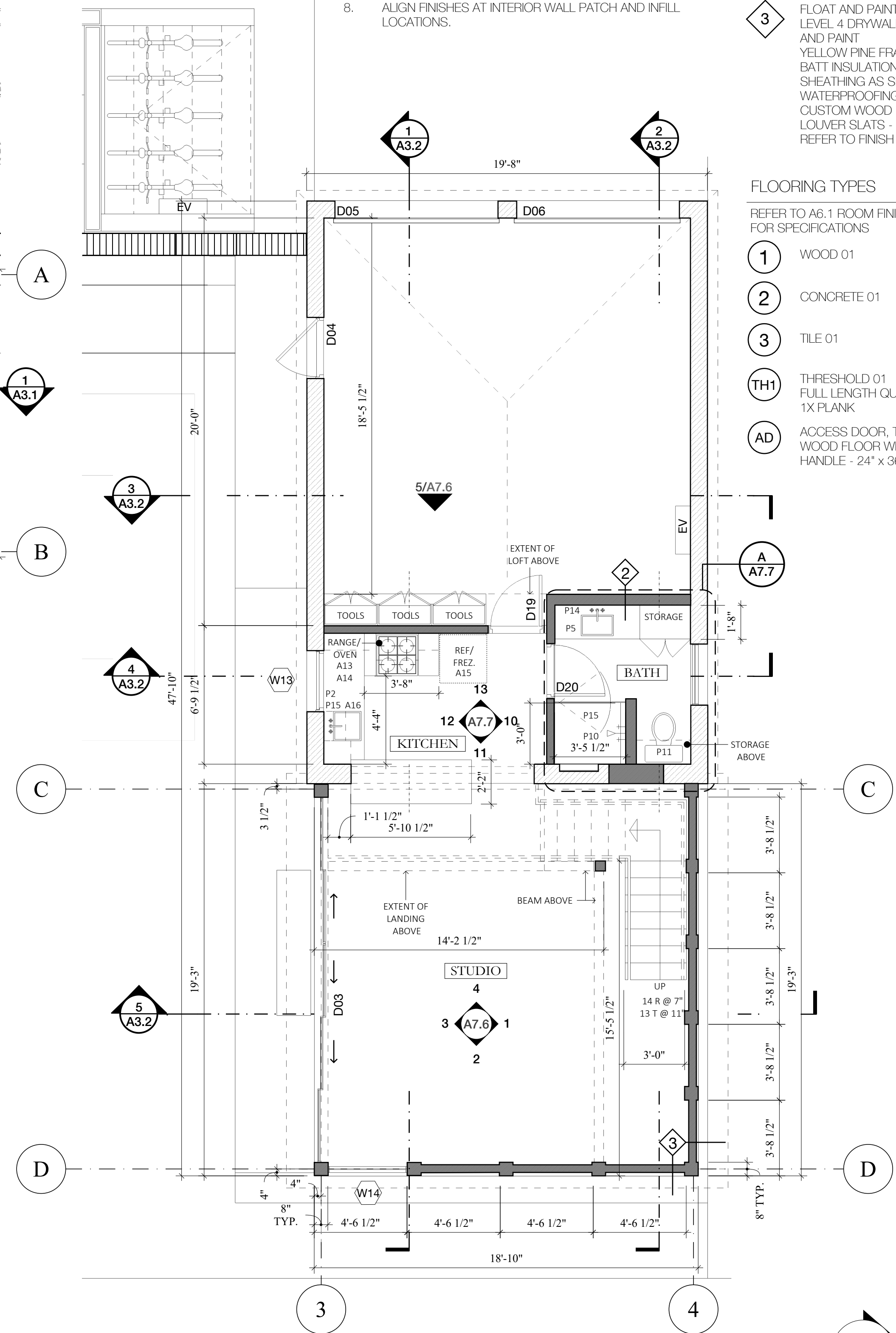
WALL TYPES

- FLOAT AND PAINT  
LEVEL 4 DRYWALL GYP. BOARD, TAPE, FLOAT AND PAINT  
YELLOW PINE FRAMING  
BATT INSULATION BETWEEN FRAMING  
SHEATHING AS SPECIFIED  
WATERPROOFING  
0.5" x 3.5" T+G HORIZONTAL PLANKING - PAINT FINISH  
REFER TO FINISH SCHEDULE ON A6.1
- FLOAT AND PAINT  
LEVEL 4 DRYWALL GYP. BOARD, TAPE, FLOAT AND PAINT  
YELLOW PINE FRAMING  
BATT INSULATION BETWEEN FRAMING  
LEVEL 4 DRYWALL GYP. BOARD, TAPE, FLOAT AND PAINT  
REFER TO FINISH SCHEDULE ON A6.1
- FLOAT AND PAINT  
LEVEL 4 DRYWALL GYP. BOARD, TAPE, FLOAT AND PAINT  
YELLOW PINE FRAMING  
BATT INSULATION BETWEEN FRAMING  
SHEATHING AS SPECIFIED  
WATERPROOFING  
CUSTOM WOOD PANEL FINISH WITH FIXED LOUVER SLATS - PAINT FINISH  
REFER TO FINISH SCHEDULE ON A6.1

FLOORING TYPES

REFER TO A6.1 ROOM FINISH SCHEDULE FLOORING FOR SPECIFICATIONS

- WOOD 01
- CONCRETE 01
- TILE 01
- TH1 THRESHOLD 01  
FULL LENGTH QUARTER SAWN WHITE OAK 1X PLANK
- AD ACCESS DOOR, TOP TO MATCH WOOD FLOOR WITH FLUSH PULL HANDLE - 24" x 36"



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Poli And Mason Architecture Shop  
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San Antonio, TX 78205

project name

Prado Residence  
Remodel and Addition  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title

Floor Plan - First Floor

phase

CD

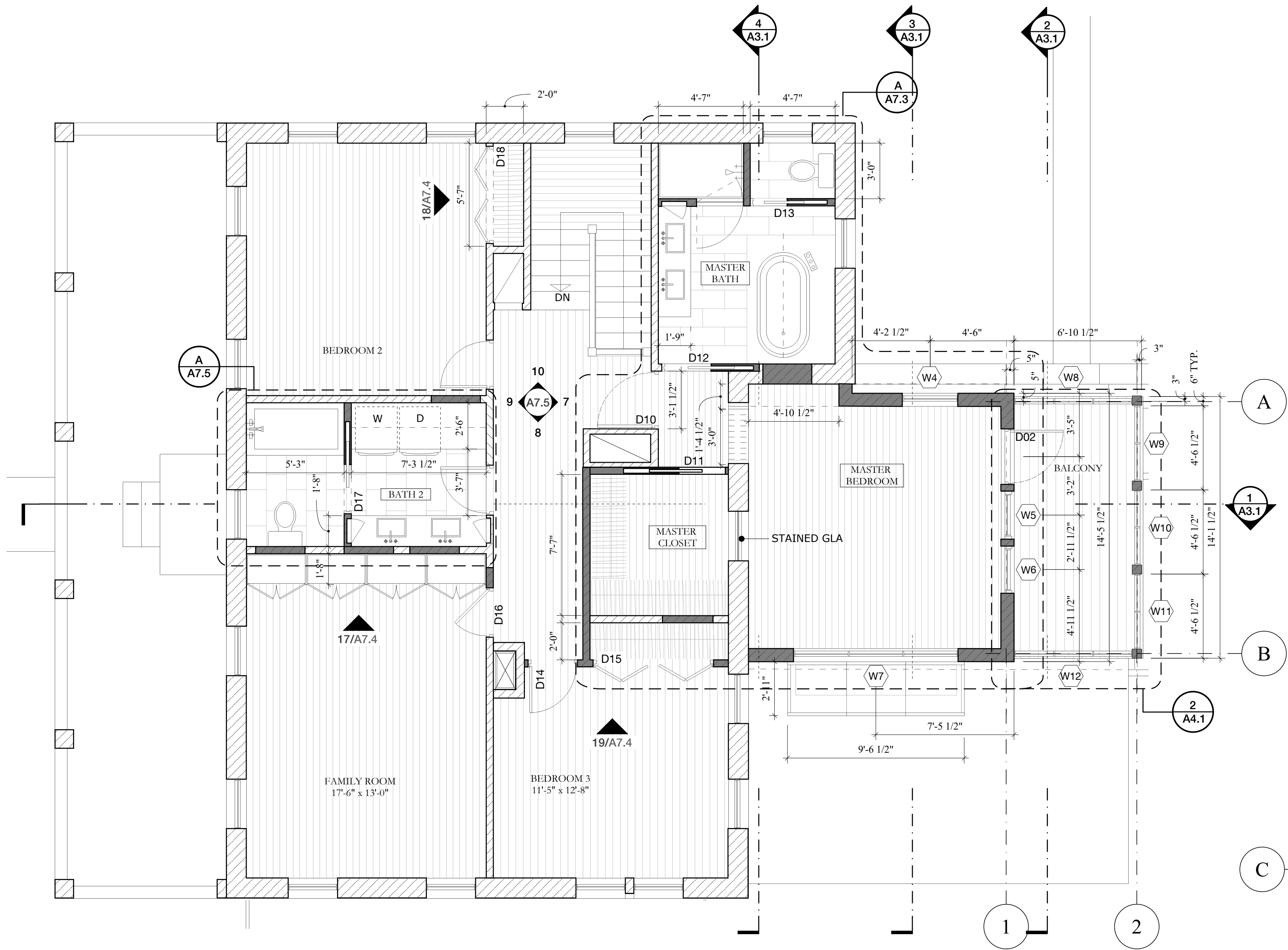
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GENERAL NOTES

1. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONDITIONS UNCOVERED UPON DEMOLITION.
2. ALL CONSTRUCTION TO CONFORM TO ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES.
3. REPORT ANY AND ALL DISCREPANCIES, ERRORS, AND/OR OMISSIONS IN THESE DOCUMENTS TO THE ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
4. ALL DIMENSIONS TO BE VERIFIED AT THE JOB SITE. UNDER NO CIRCUMSTANCE SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.
5. WINDOWS AND DOORS ARE TO REMAIN UNLESS NOTED OTHERWISE (U.N.O.).
6. REVIEW MEP AND RCP PLANS PRIOR TO FRAMING TO ALLOW FOR PROPER CENTERING OF RECESSED LIGHT FIXTURES, VENTS, ETC.
7. PATCH AND REPAIR EXISTING MASONRY WALL AS REQUIRED. MATCH EXISTING.

LEGEND

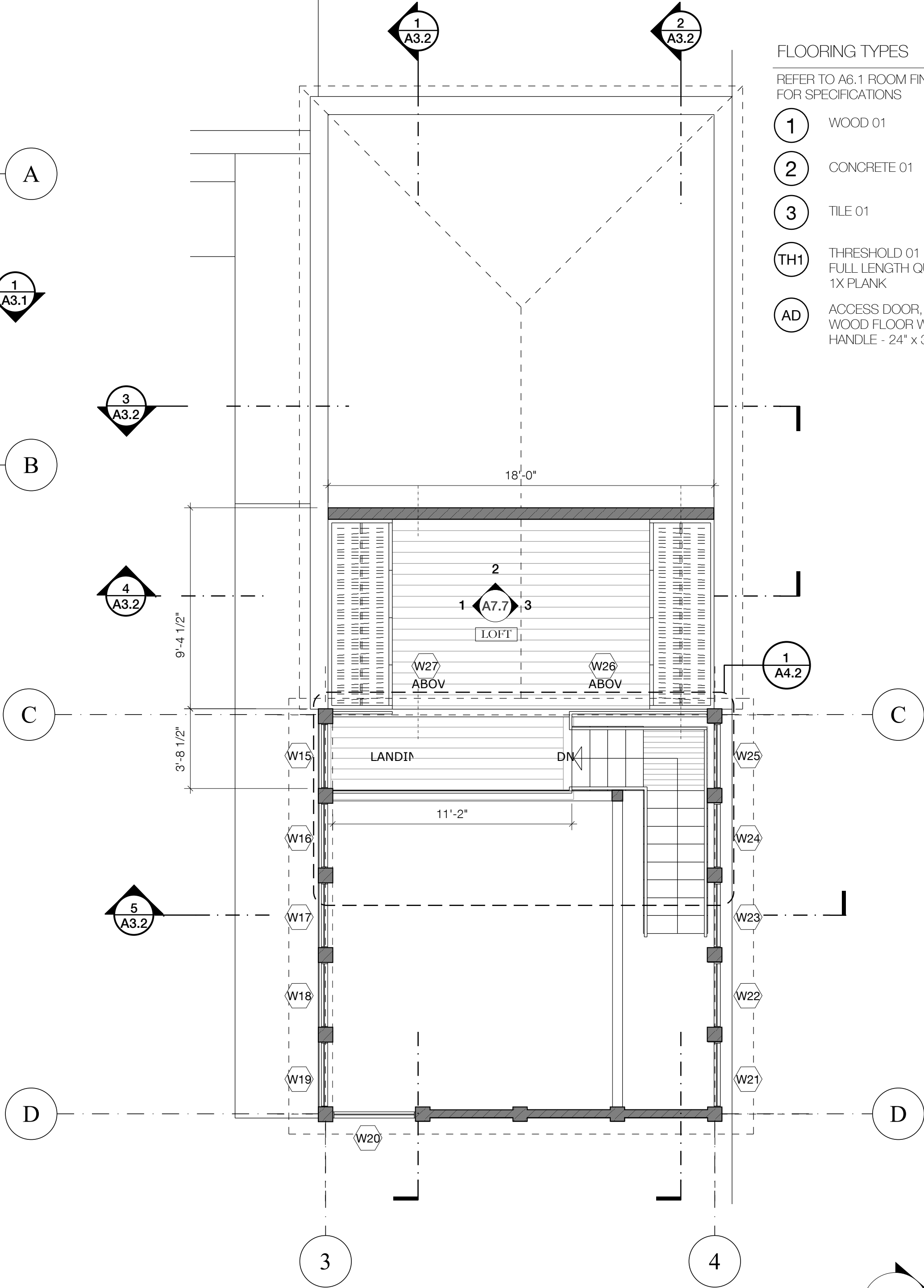
- EXISTING MASONRY GARDEN WALL
- EXISTING WALLS
- NEW WALLS

WALL TYPES

- 1. FLOAT AND PAINT  
LEVEL 4 DRYWALL GYP. BOARD, TAPE, FLOAT AND PAINT  
YELLOW PINE FRAMING  
BATT INSULATION BETWEEN FRAMING  
LEVEL 4 DRYWALL GYP. BOARD, TAPE, FLOAT AND PAINT  
REFER TO FINISH SCHEDULE ON A6.1
- 2. 0.5" x 3.5" T+G VERTICAL PLANKING - PAINT  
YELLOW PINE FRAMING  
BATT INSULATION BETWEEN FRAMING  
SHEATHING AS SPECIFIED  
WATERPROOFING  
0.5" x 3.5" T+G HORIZONTAL PLANKING - PAINT FINISH  
REFER TO FINISH SCHEDULE ON A6.1

FLOORING TYPES

- REFER TO A6.1 ROOM FINISH SCHEDULE FLOORING FOR SPECIFICATIONS
- 1. WOOD 01
  - 2. CONCRETE 01
  - 3. TILE 01
  - TH1. THRESHOLD 01  
FULL LENGTH QUARTER SAWN WHITE OAK 1X PLANK
  - AD. ACCESS DOOR, TOP TO MATCH WOOD FLOOR WITH FLUSH PULL HANDLE - 24" x 36"



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project name

Prado Residence  
Remodel and Addition  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title

Floor Plan - Second Floor

phase

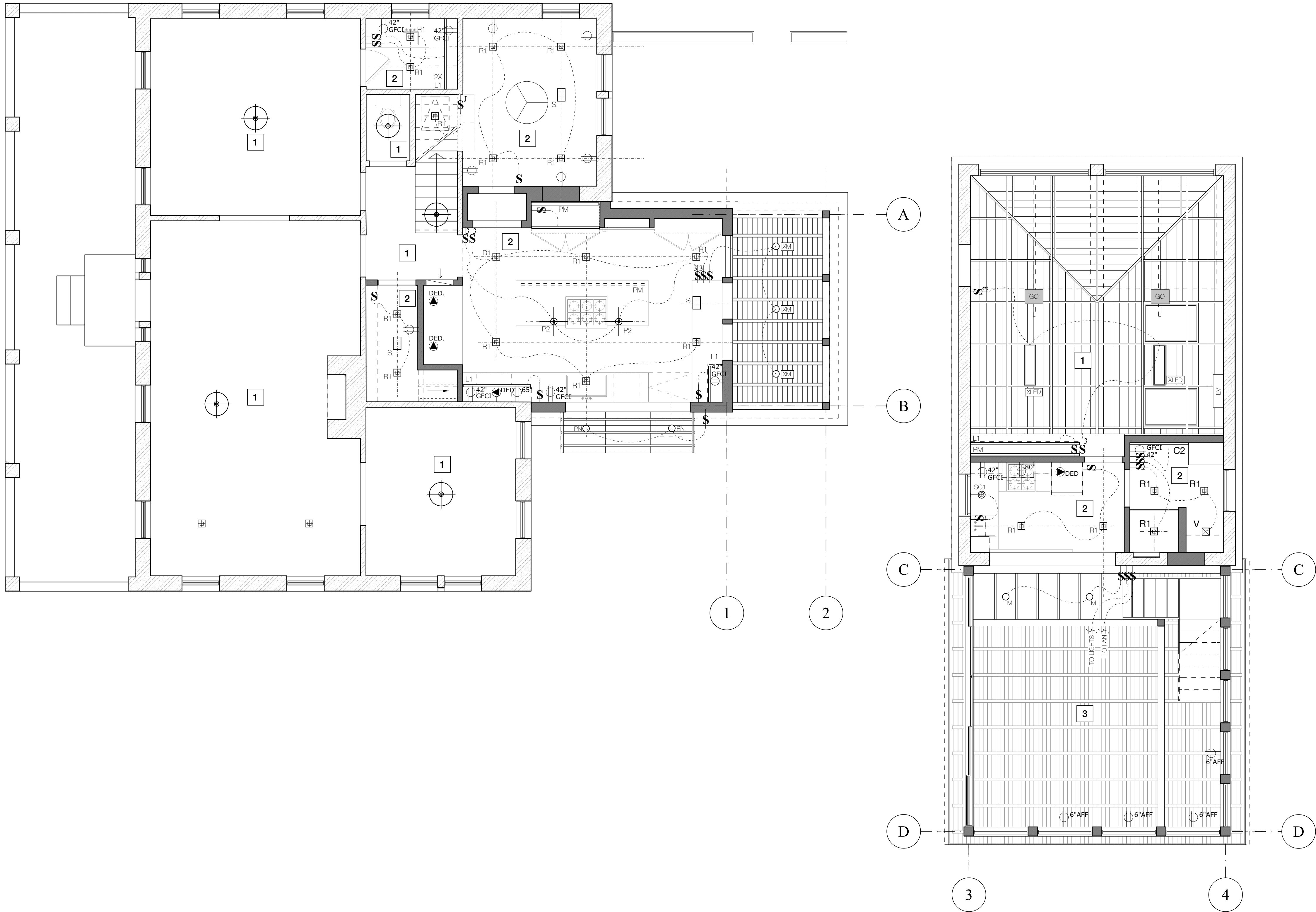
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1 REFLECTED CEILING PLAN - FIRST FLOOR

Scale: 1/4"=1'-0"

GENERAL NOTES

1. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONDITIONS UNCOVERED UPON DEMOLITION
2. GENERAL CONTRACTOR TO SUBMIT CUTSHEETS TO ARCHITEC AND OWNER PRIOR TO ORDERING OR FABRICATION
3. CONTRACTOR TO PROVIDE MATERIAL, FINISH AND PAINT SAMPLES TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR FABRICATION

LEGEND

REFER TO A6.1 ROOM SCHEDULES FOR FINISHES  
REFER TO A6.3 PROJECT SCHEDULES FOR SPECIFICATIONS

- F1 CEILING FAN - EXISTING (TO BE PROTECTED)
- F2 OUTDOOR CEILING FAN
- P1 PENDANT
- P2 PENDANT @ ISLAND
- M MONOPOINT
- XM EXTERIOR MONOPOINT
- R1 RECESSED DOWNLIGHT
- R2 RECESSED DOWNLIGHT - RETROFIT
- C1 CUSTOM MIRROR WITH INTEGRATED LIGHT FIXTURE
- L1 LINEAR TAPE LIGHT
- PL PICTURE LIGHT
- LED 4" SQUARE SURFACE MOUNT LED
- SC1 EXISTING SCONCE - TO BE HARDWIRED
- V EXHAUST VENT; BROAN QTXE080 VERY QUIET SERIES ALT.; PANASONIC FV-08VF2, WHITE FINISH, WHISPERFIT 80CFM LOW PROFILE
- S SUPPLY AIR GRILLE
- GO EXISTING GARAGE OPENER
- PM PLUGMOLD - INSTALLED TO THE UNDERSIDE OF UPPER CABINETS OR SHELVES - LEGRAND AL SERIES OR EQUAL
- EX EXISTING ELECTRICAL OUTLET: EXISTING FACEPLATES
- 42" GFCI NEW ELECTRICAL OUTLET: FACEPLATES TO MATCH EXISTING
- CL CLOCK OUTLET
- EXT EXTERIOR ELECTRICAL OUTLET
- 42" SWITCHED ELECTRICAL OUTLET: BALDWIN FACEPLATES
- S SWITCH

Finish Notes

- 1 EXISTING CEILING TO REMAIN
- 2 LATEX PAINT ON GYPSUM BOARD / STUCCO FINISH: PAINT 01
- 3 DOUGLAS FIR 1X4 T+G CEILING FINISH: CLEAR COAT
- 4 DOUGLAS FIR 1X4 T+G CEILING, EXPOSED 3X8" BEAMS FINISH: PAINTED REFER TO FINISH SCHEDULE

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San Antonio, TX 78205

project name

Prado Residence  
Remodel and Addition  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title

Reflected Ceiling Plan -  
First Floor

phase

CD

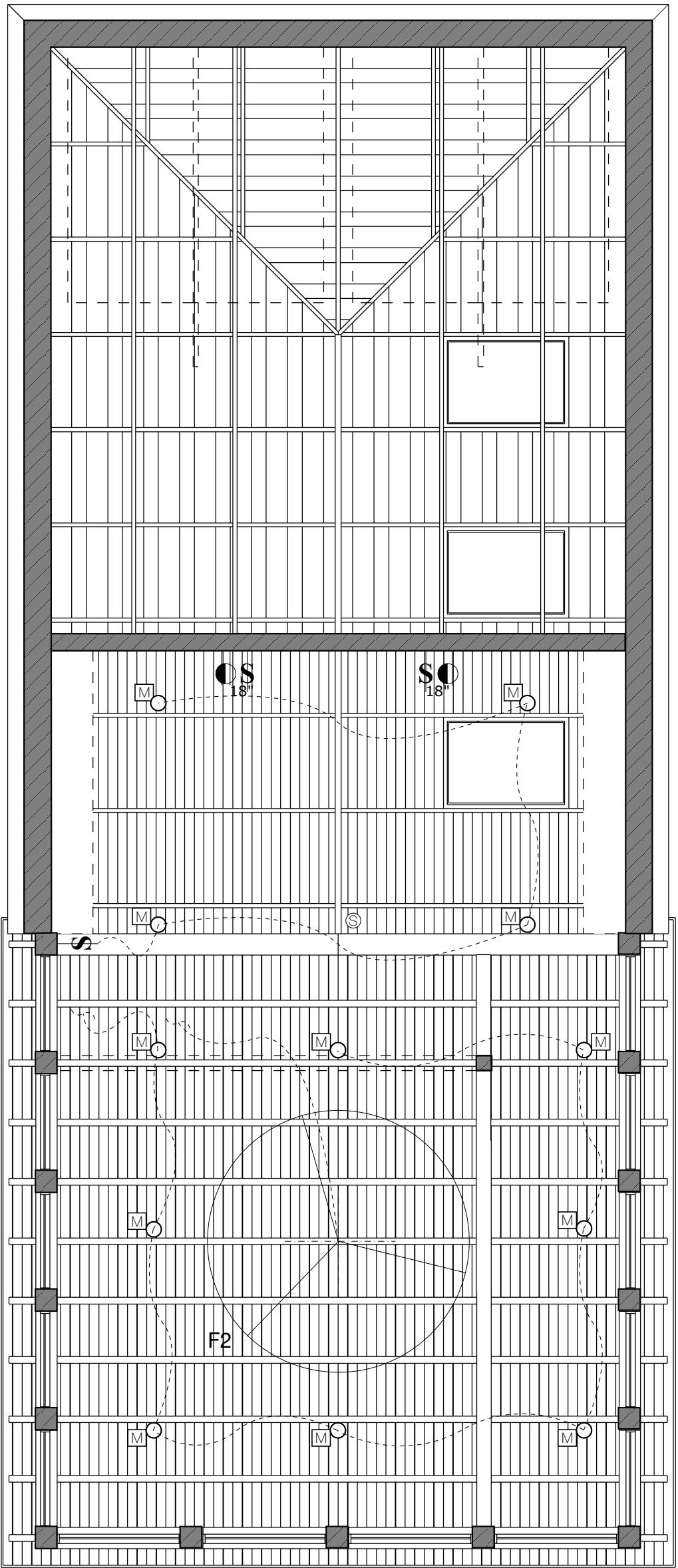
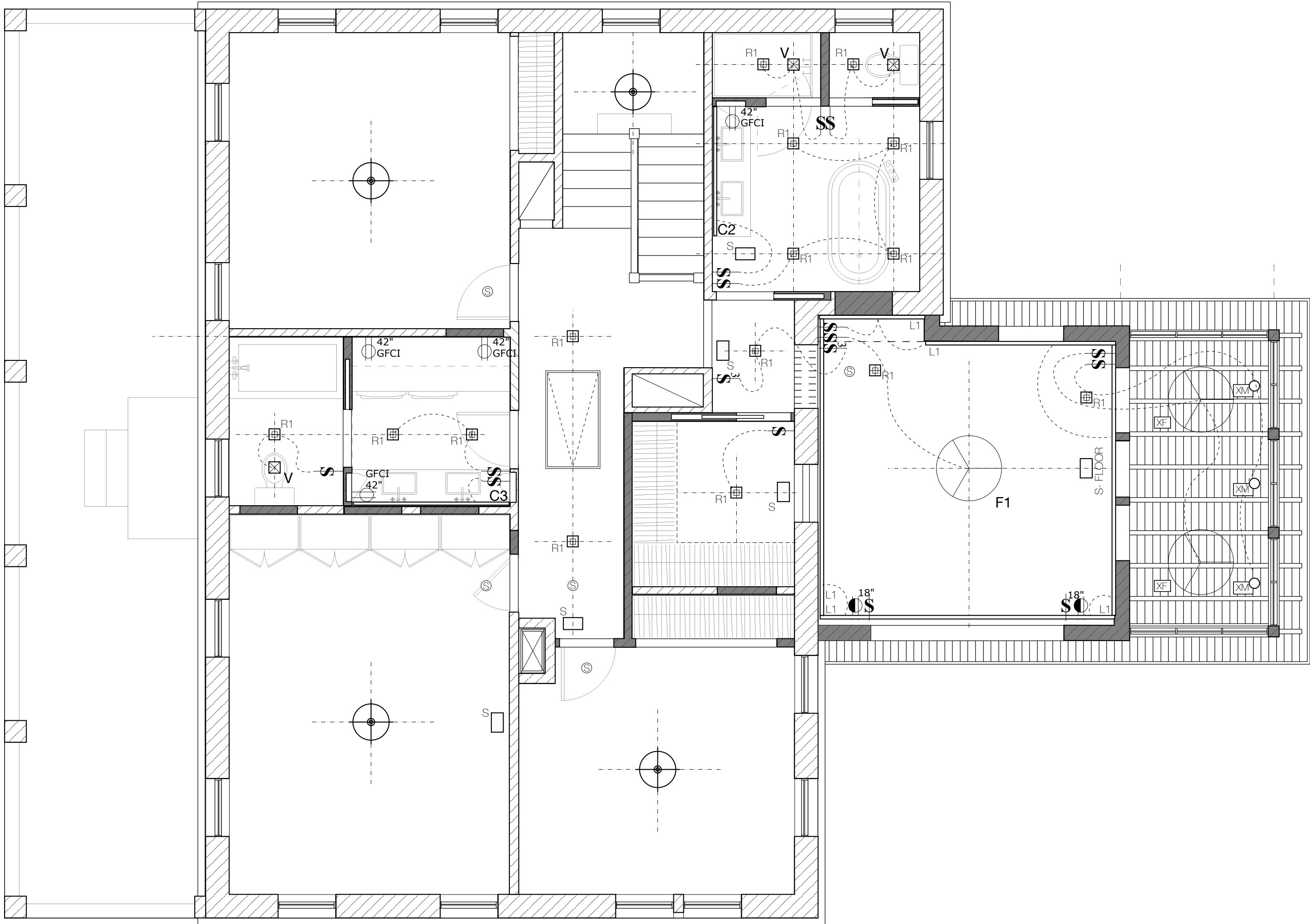
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GENERAL NOTES

1. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONDITIONS UNCOVERED UPON DEMOLITION
2. GENERAL CONTRACTOR TO SUBMIT CUTSHEETS TO ARCHITEC AND OWNER PRIOR TO ORDERING OR FABRICATION
3. CONTRACTOR TO PROVIDE MATERIAL, FINISH AND PAINT SAMPLES TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR FABRICATION

LEGEND

REFER TO A6.1 ROOM SCHEDULES FOR FINISHES  
REFER TO A6.3 PROJECT SCHEDULES FOR SPECIFICATIONS

- F CEILING FAN
- XF OUTDOOR CEILING FAN
- P1 PENDANT
- P2 PENDANT @ ISLAND
- M MONOPOINT
- XM EXTERIOR MONOPOINT
- R1 RECESSED DOWNLIGHT
- R2 RECESSED DOWNLIGHT - RETROFIT
- S1 SURFACE MOUNTED
- S2 SURFACE MOUNTED, EXISTING
- C1 CUSTOM MIRROR WITH INTEGRATED LIGHT FIXTURE
- L1 LINEAR TAPE LIGHT
- PL PICTURE LIGHT
- LED 4" SQUARE SURFACE MOUNT LED
- SC1 EXISTING SCONCE - TO BE HARDWIRED
- V EXHAUST VENT: BROAN QTXE080 VERY QUIET SERIES ALT.: PANASONIC FV-08VF2, WHITE FINISH, WHISPERFIT 80CFM LOW PROFILE
- S SUPPLY AIR GRILLE
- PM PLUGMOLD - INSTALLED TO THE UNDERSIDE OF UPPER CABINETS OR SHELVES - LEGRAND AL SERIES OR EQUAL
- EX EXISTING ELECTRICAL OUTLET: EXISTING FACEPLATES
- 42" GFCT NEW ELECTRICAL OUTLET: FACEPLATES TO MATCH EXISTING
- CL CLOCK OUTLET
- EXT EXTERIOR ELECTRICAL OUTLET
- 42" SWITCHED ELECTRICAL OUTLET: BALDWIN FACEPLATES

Finish Notes

- 1 EXISTING CEILING TO REMAIN
- 2 LATEX PAINT ON GYPSUM BOARD / STUCCO FINISH: PAINT 01
- 3 DOUGLAS FIR 1X4 T+G CEILING FINISH: CLEAR COAT
- 4 DOUGLAS FIR 1X4 T+G CEILING, EXPOSED 3X8" BEAMS FINISH: PAINTED REFER TO FINISH SCHEDULE

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project name

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**Remodel and Addition**  
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San Antonio, TX 78212

sheet title

**Reflected Ceiling Plan -**  
**Second Floor**

phase

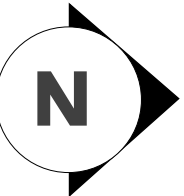
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**A1.4**

11/11/2022





1 NORTH SITE ELEVATION - MAIN HOUSE

Scale: 1/4"=1'-0"

GENERAL NOTES

1. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONDITIONS UNCOVERED UPON DEMOLITION
2. REFERENCE STRUCTURAL PLANS FOR FRAMING MEMBER SIZES, LOCATIONS AND CONNECTION DETAILS.
3. CONTRACTOR TO PROVIDE MATERIAL, FINISH AND PAINT SAMPLES TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR FABRICATION
4. EXISTING BRICK CLADDED STRUCTURE TO REMAIN. SOILED OR DAMAGED BRICK BE CLEANED AND OR REPAIRED, TYP. UNLESS NOTED OTHERWISE. REFER TO A1.0
5. EXISTING DOORS AND WINDOWS TO REMAIN, TYP. UNLESS NOTED OTHERWISE. REFER TO A1.0
6. EXISTING GARDEN WALL TO REMAIN, TYP. UNLESS NOTED OTHERWISE. REFER TO A1.0

KEYNOTES

- 1 EXISTING DOOR TO REMAIN/ REFURBISH TO MATCH
- 2 NEW PAINTED WOOD FRAMING MEMBER
- 3 NEW PAINTED WOOD CLADDING
- 4 NEW WINDOW - METAL CLAD
- 5 NEW DOOR - METAL CLAD
- 6 NEW SCREENED PORCH - PAINTED WOOD SASHES
- 7 NEW AWNING - METAL SUPPORT WITH GLASS PANELS
- 8 NEW PHOTOVOLTAIC PANELS

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regulatory approval

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**Remodel and Addition**  
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sheet title

**Site Elevations -**  
**Main House**

phase

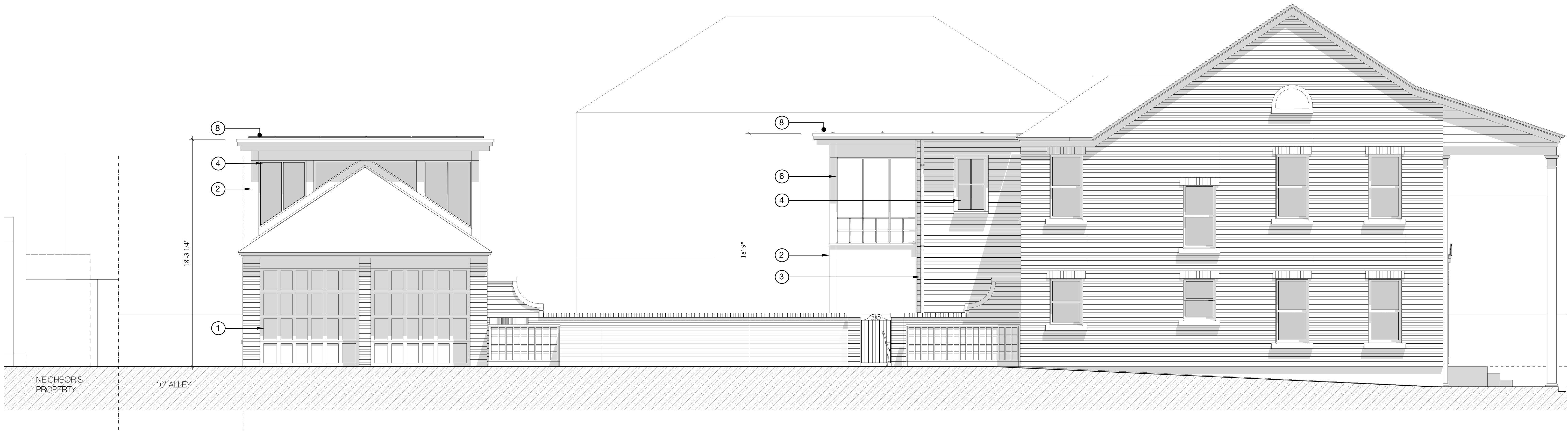
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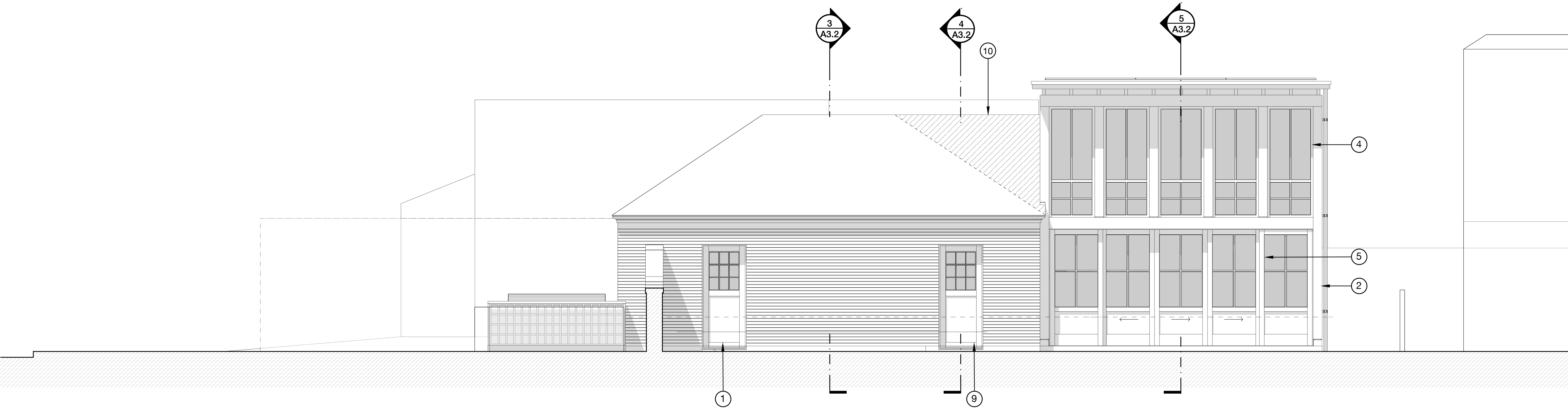
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2 WEST SITE ELEVATION

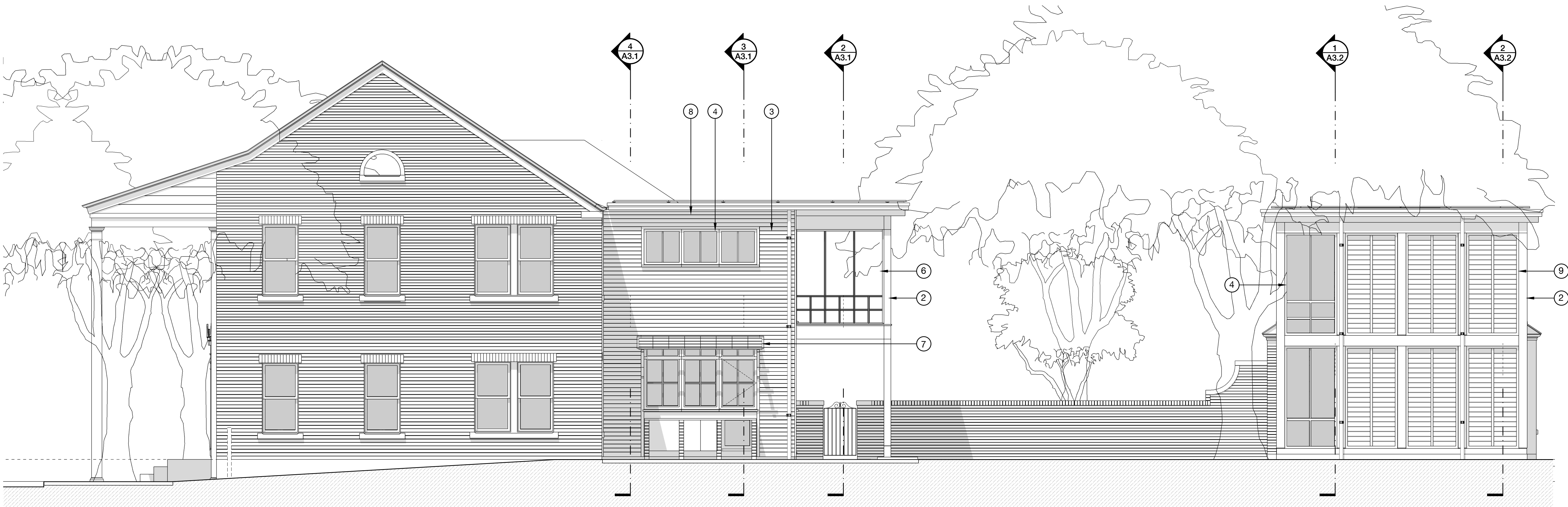
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1 SOUTH SITE ELEVATION - GARAGE

Scale: 1/4"=1'-0"



2 EAST SITE ELEVATION

Scale: 1/4"=1'-0"

#### GENERAL NOTES

1. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONDITIONS UNCOVERED UPON DEMOLITION
2. REFERENCE STRUCTURAL PLANS FOR FRAMING MEMBER SIZES, LOCATIONS AND CONNECTION DETAILS.
3. CONTRACTOR TO PROVIDE MATERIAL, FINISH AND PAINT SAMPLES TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR FABRICATION
4. EXISTING BRICK CLADDED STRUCTURE TO REMAIN. SOILED OR DAMAGED BRICK BE CLEANED AND OR REPAIRED, TYP. UNLESS NOTED OTHERWISE. REFER TO A1.0
5. EXISTING DOORS AND WINDOWS TO REMAIN, TYP. UNLESS NOTED OTHERWISE. REFER TO A1.0
6. EXISTING GARDEN WALL TO REMAIN, TYP. UNLESS NOTED OTHERWISE. REFER TO A1.0

#### KEYNOTES

- ① EXISTING DOOR TO REMAIN/ REFURBISH TO MATCH
- ② NEW PAINTED WOOD FRAMING MEMBER
- ③ NEW PAINTED WOOD CLADDING
- ④ NEW WINDOW - METAL CLAD
- ⑤ NEW DOOR - METAL CLAD
- ⑥ NEW SCREENED PORCH - PAINTED WOOD SASHES
- ⑦ NEW AWNING - METAL SUPPORT WITH GLASS PANELS
- ⑧ NEW PHOTOVOLTAIC PANELS

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Pali And Mason Architecture Shop  
1149 E. Commerce St  
San Antonio, TX 78205

project name

**Prado Residence**  
**Remodel and Addition**  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title

Site Elevations - Garage

phase

CD

revisions

drawing number

A2.2

11/11/2022



1 NORTH SITE ELEVATION - GARAGE

Scale: 1/4"=1'-0"

NOTES

- EXISTING BRICK CLADDED STRUCTURE TO REMAIN. SOILED OR DAMAGED BRICK BE CLEANED AND OR REPAIRED, TYP. UNLESS NOTED OTHERWISE. REFER TO A1.0
- EXISTING DOORS AND WINDOWS TO REMAIN, TYP. UNLESS NOTED OTHERWISE. REFER TO A1.0
- EXISTING GARDEN WALL TO REMAIN, TYP. UNLESS NOTED OTHERWISE. REFER TO A1.0

KEYNOTES

- EXISTING DOOR/ WINDOW TO REMAIN/ REFURBISH TO MATCH
- NEW EXPOSED CONCRETE FOUNDATION
- NEW PAINTED WOOD FRAMING MEMBER
- NEW WINDOW - METAL CLAD
- NEW FIXED PANEL - PAINTED WOOD
- NEW ROOF TO MATCH EXISTING
- EXISTING SKYLIGHT - TO BE RELOCATED

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Remodel and Addition  
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San Antonio, TX 78212

sheet title

Site Elevations - Garage

phase

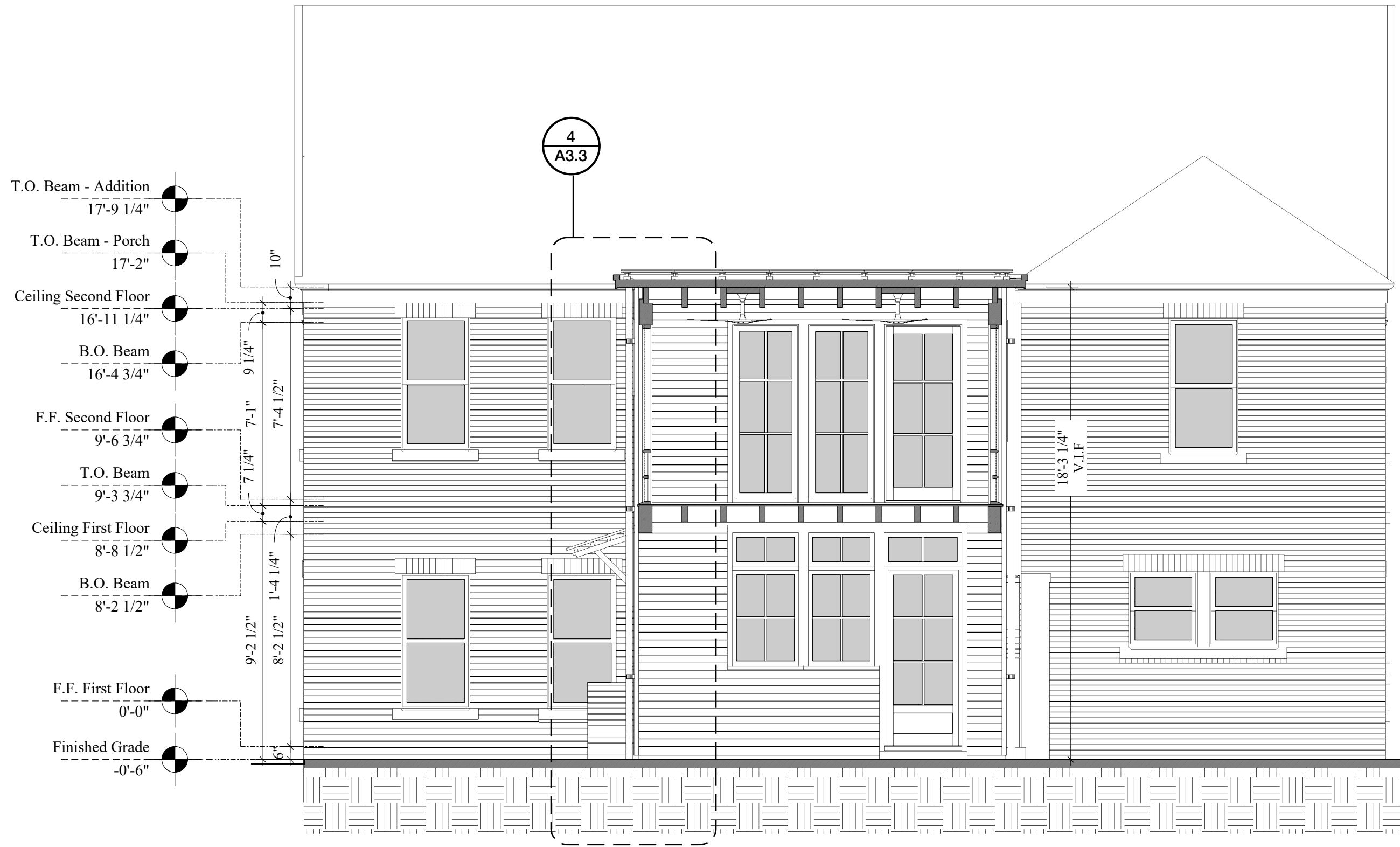
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revisions

drawing number

A2.3

11/11/2022



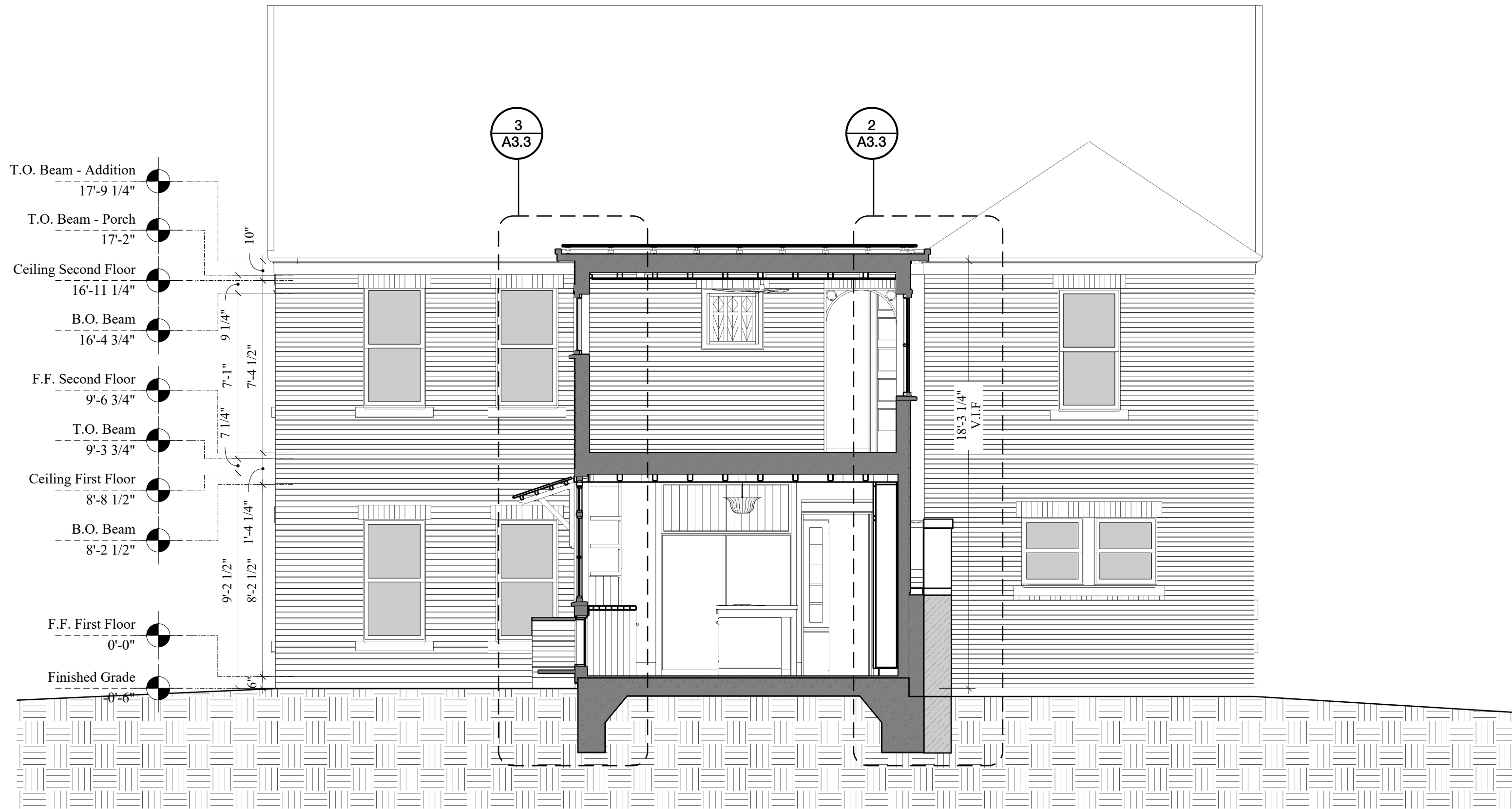
2 BUILDING SECTION - MAIN HOUSE

Scale: 1/4"=1'-0"



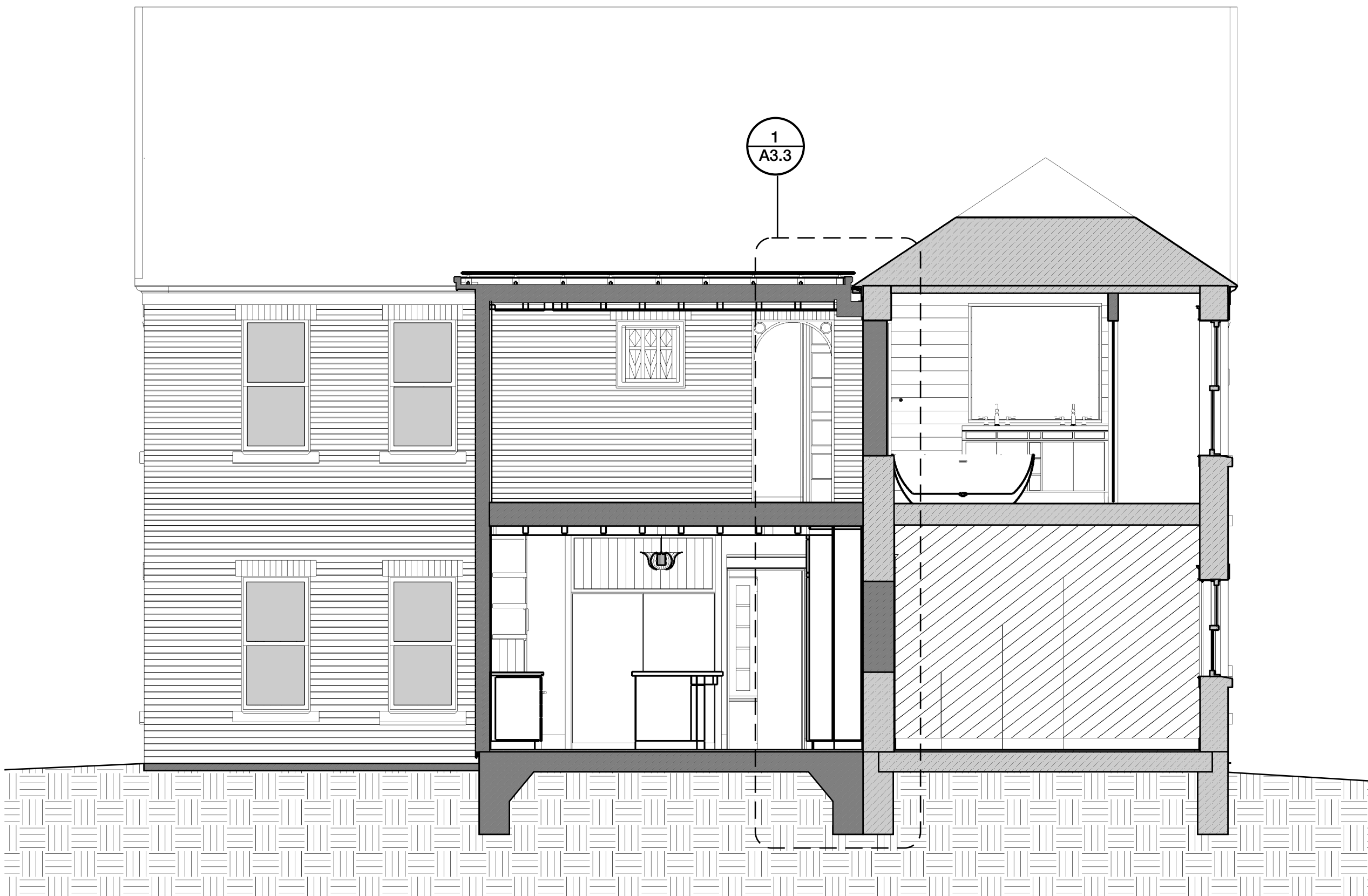
1 BUILDING SECTION - MAIN HOUSE

Scale: 1/4"=1'-0"



3 BUILDING SECTION - MAIN HOUSE

Scale: 1/4"=1'-0"



4 BUILDING SECTION - MAIN HOUSE

Scale: 1/4"=1'-0"

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San Antonio, TX 78205

project name

Prado Residence  
Remodel and Addition  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title

Building Sections - Main  
House

phase

CD

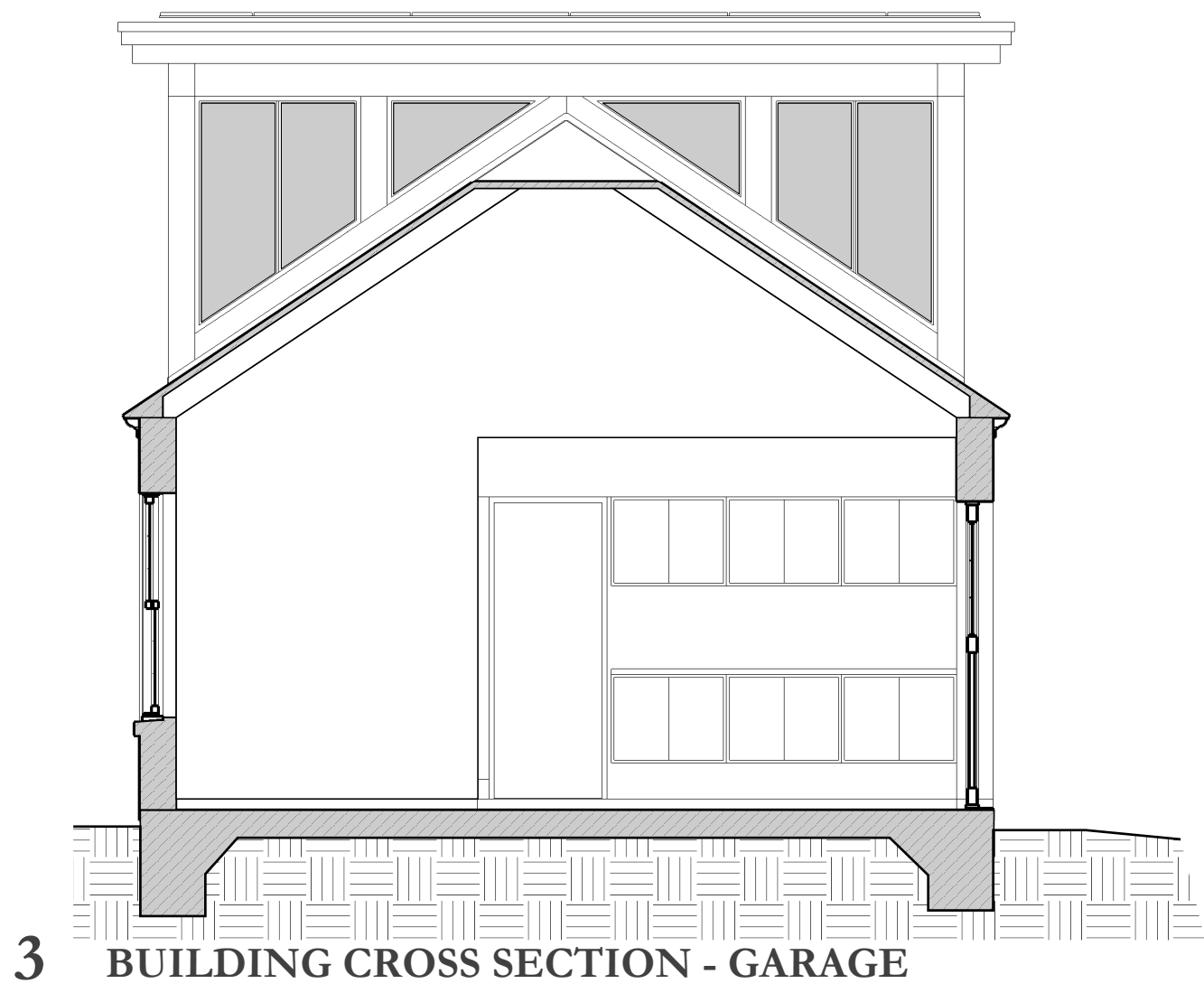
revisions

drawing number

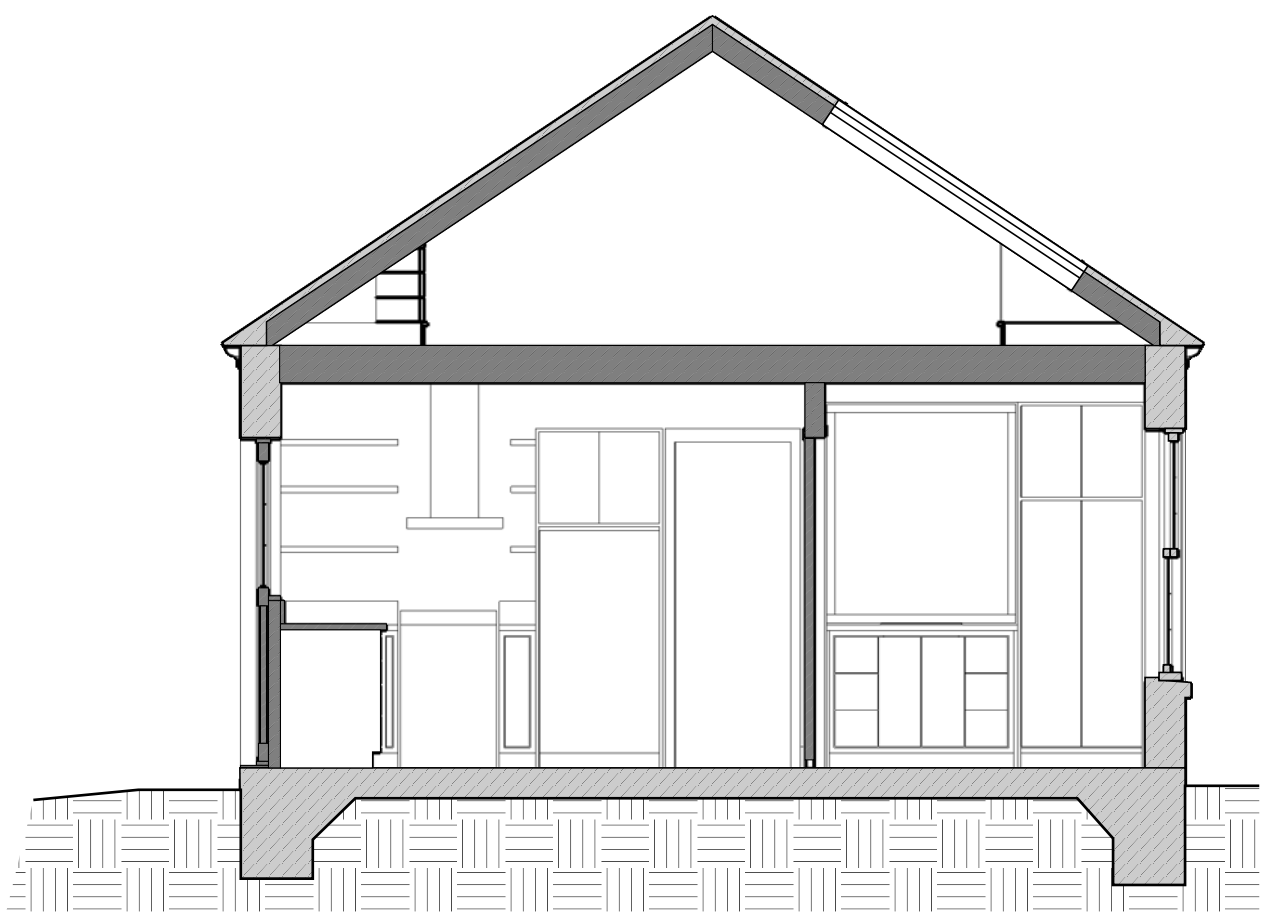
A3.1

11/11/2022



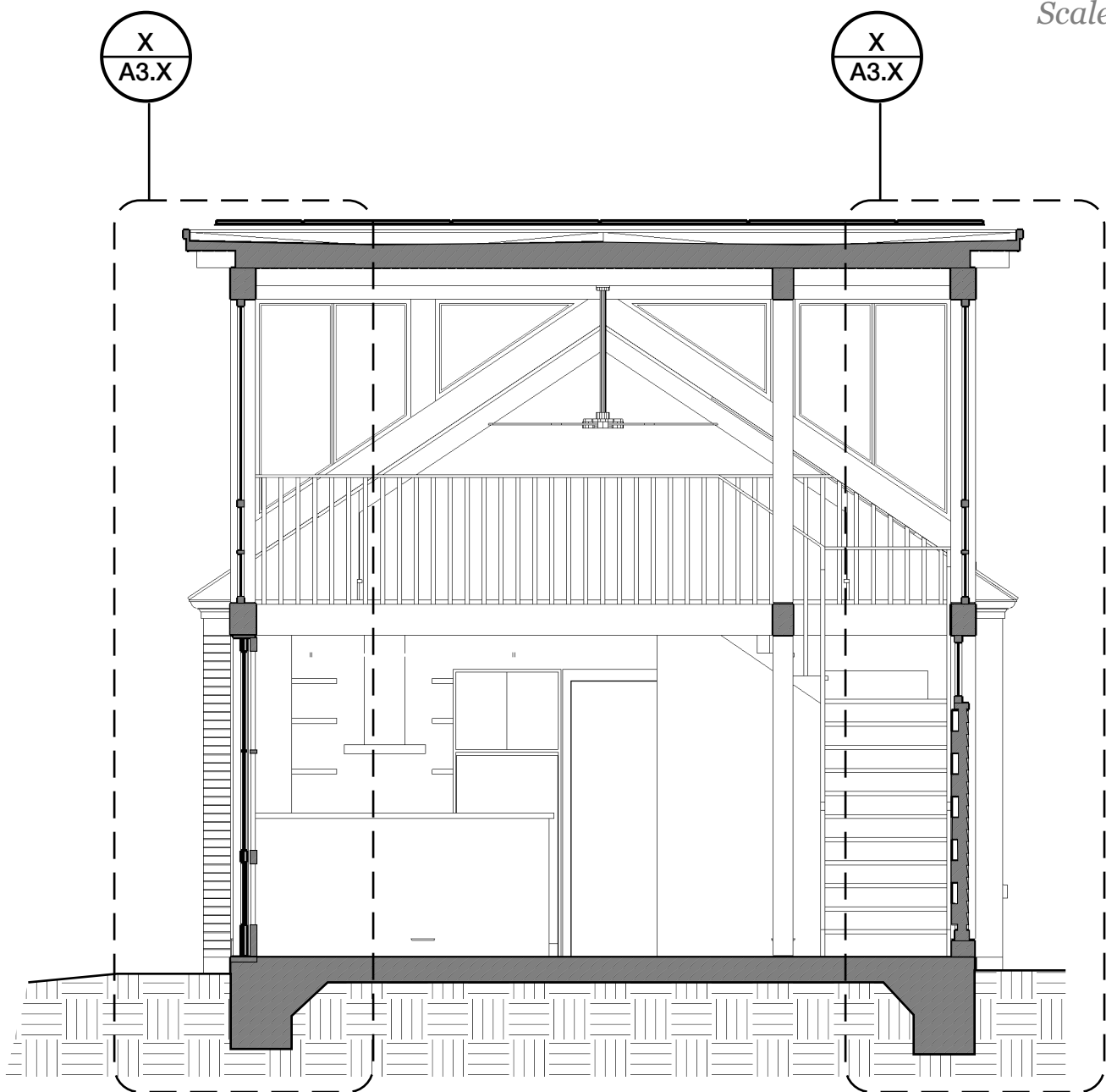


Scale: 1/4"=1'-0"



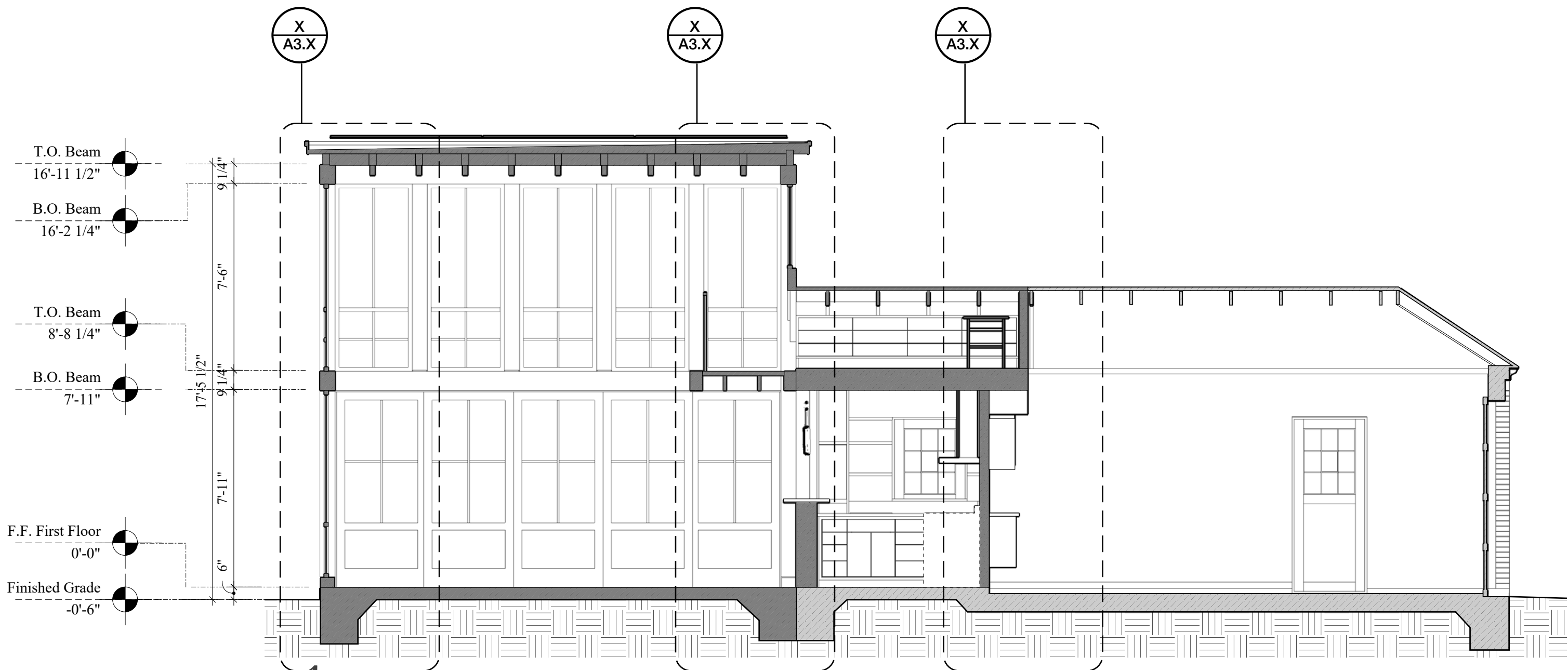
4 BUILDING CROSS SECTION - KITCHENETTE AND BATH

Scale: 1/4"=1'-0"



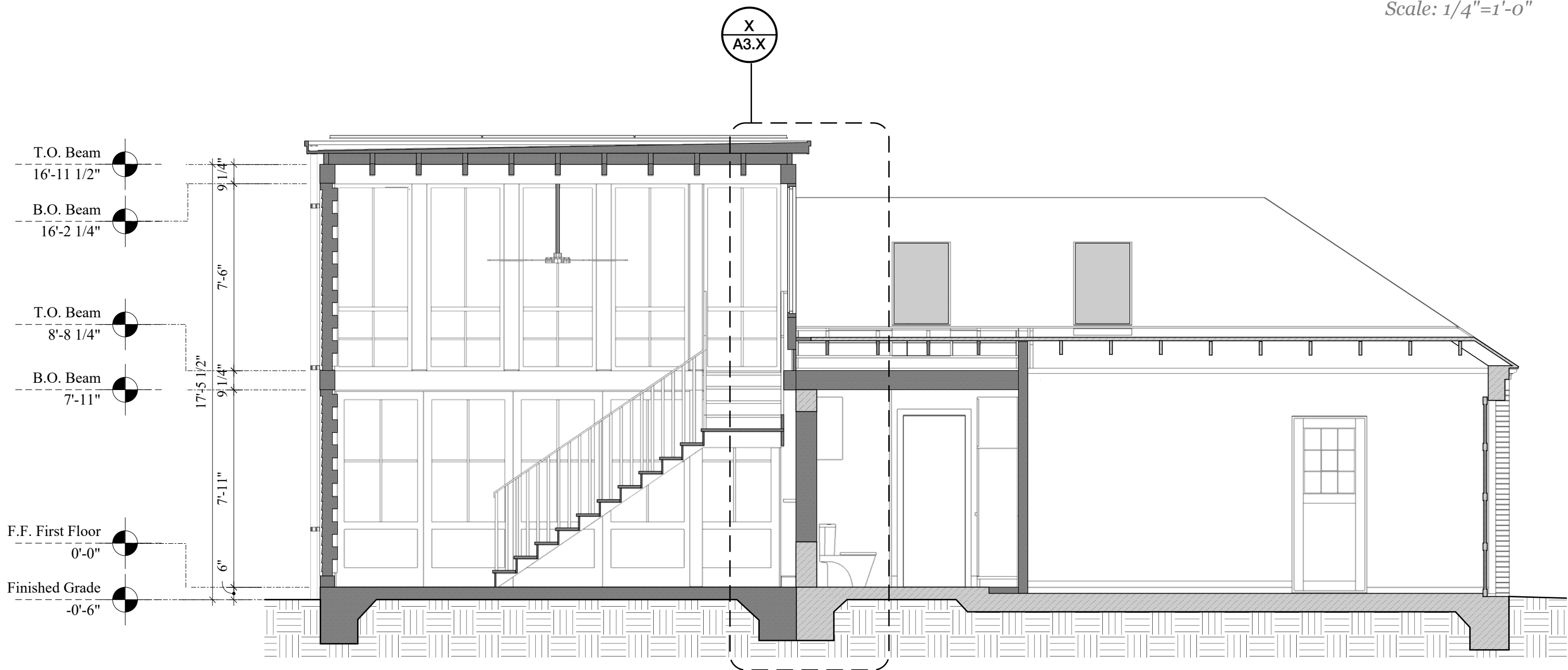
5 BUILDING CROSS SECTION - STUDIO SPACE

Scale: 1/4"=1'-0"



1 BUILDING LONG SECTION - GARAGE

Scale: 1/4"=1'-0"



2 BUILDING LONG SECTION - GARAGE

Scale: 1/4"=1'-0"

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Remodel and Addition  
227 W. Gramercy Place,  
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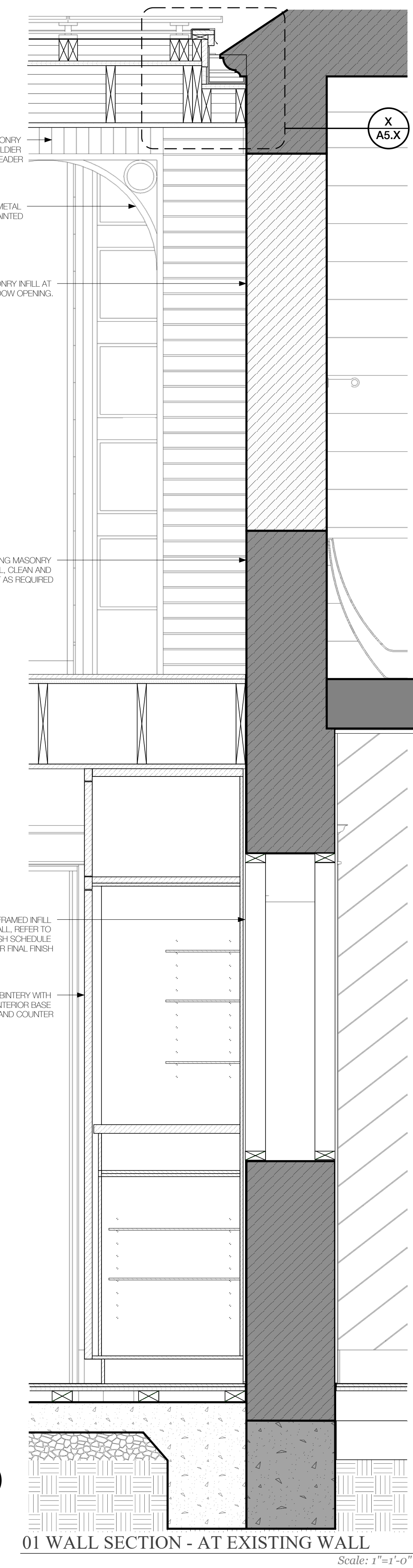
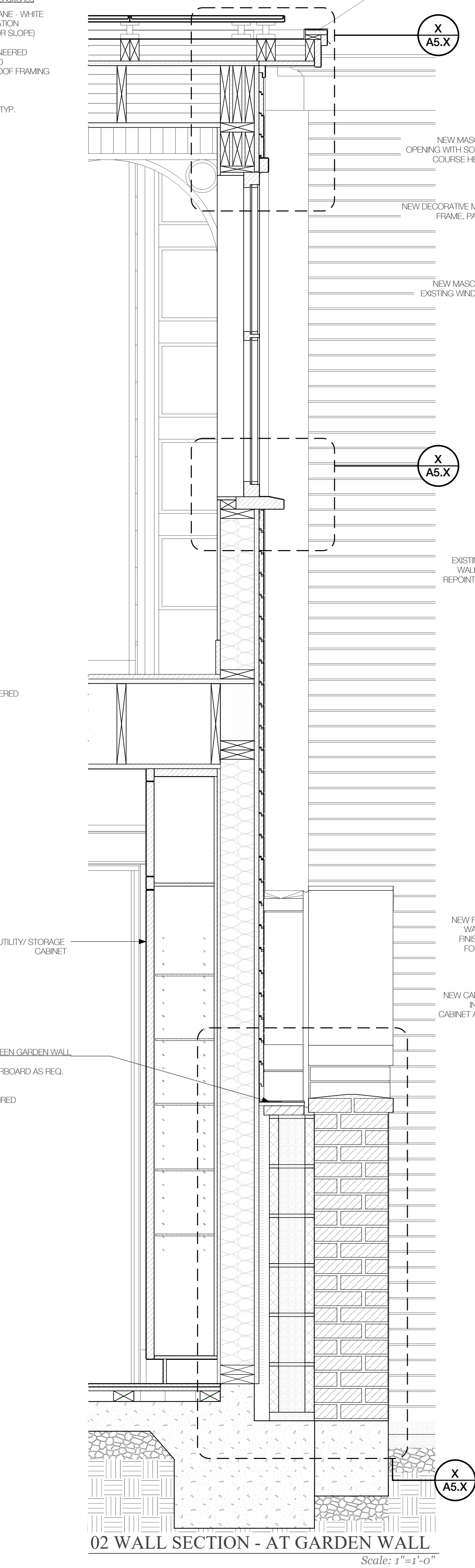
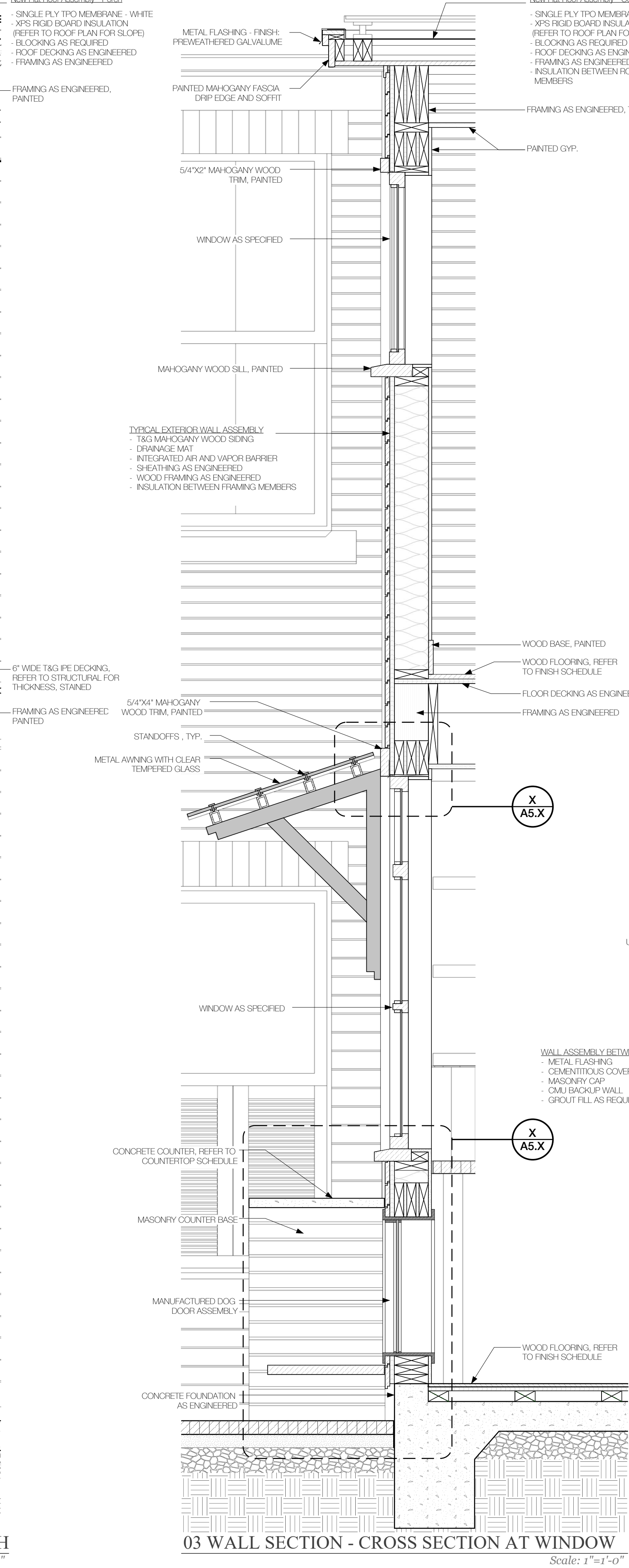
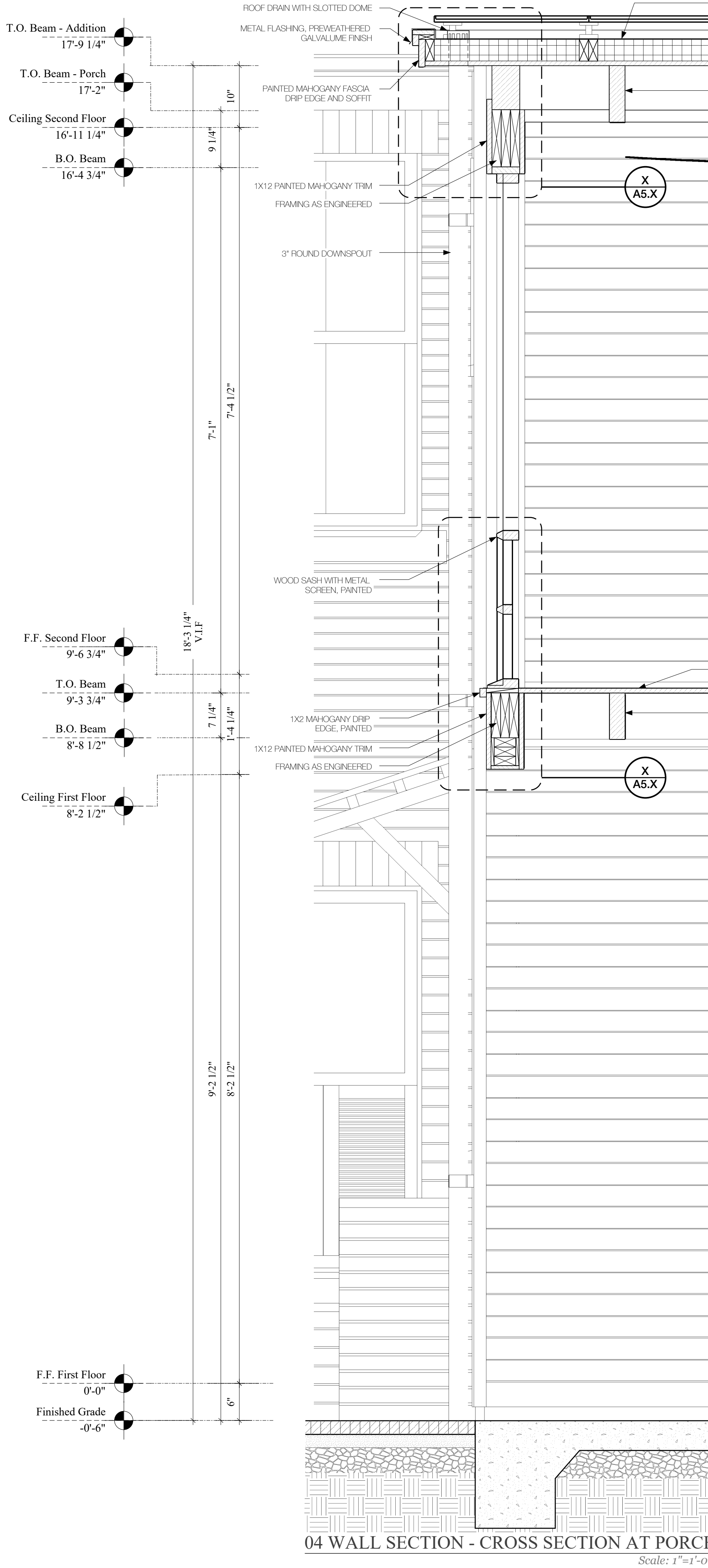
sheet title  
**Building Sections - Garage**

phase  
**CD**

revisions

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**A3.2**  
11/11/2022





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**Prado Residence**  
Remodel and Addition  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title

**Wall Sections - Main House**

phase

**CD**

revisions


drawing number

**A3.3**

11/11/2022



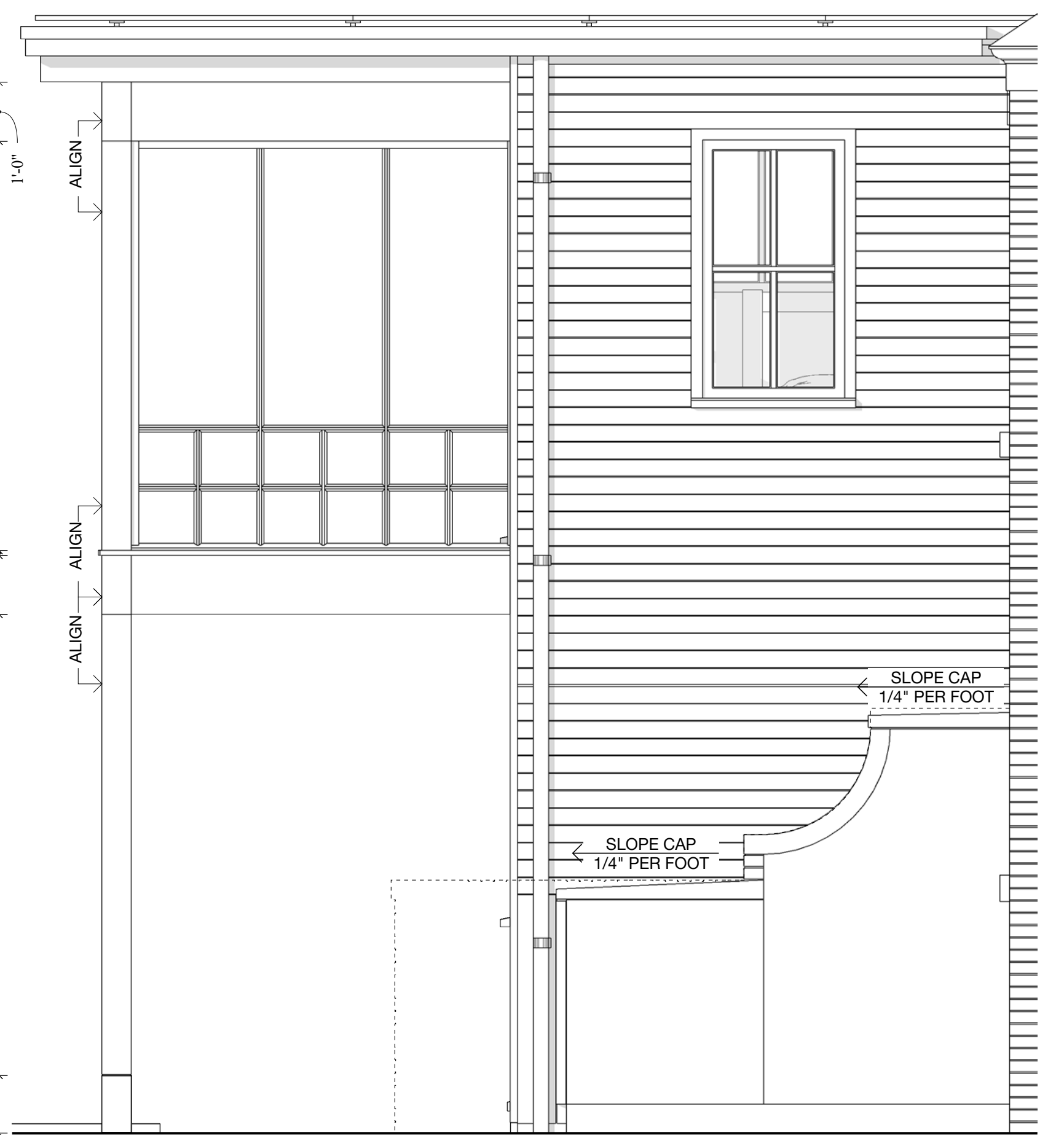
3 EAST ELEVATION - MAIN HOUSE ADDITION

Scale: 1/2"=1'-0"



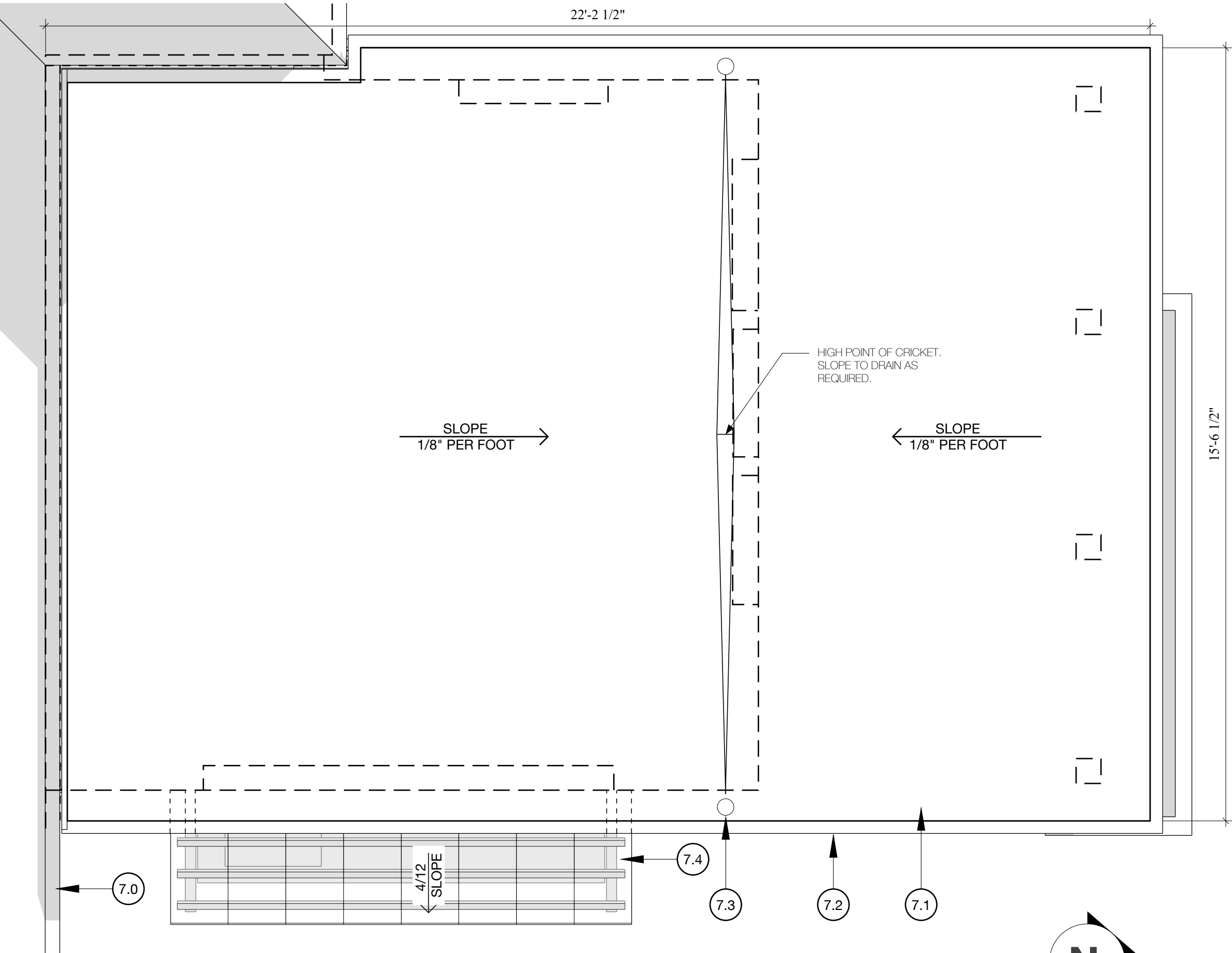
4 NORTH ELEVATION - BALCONY

Scale: 1/2"=1'-0"



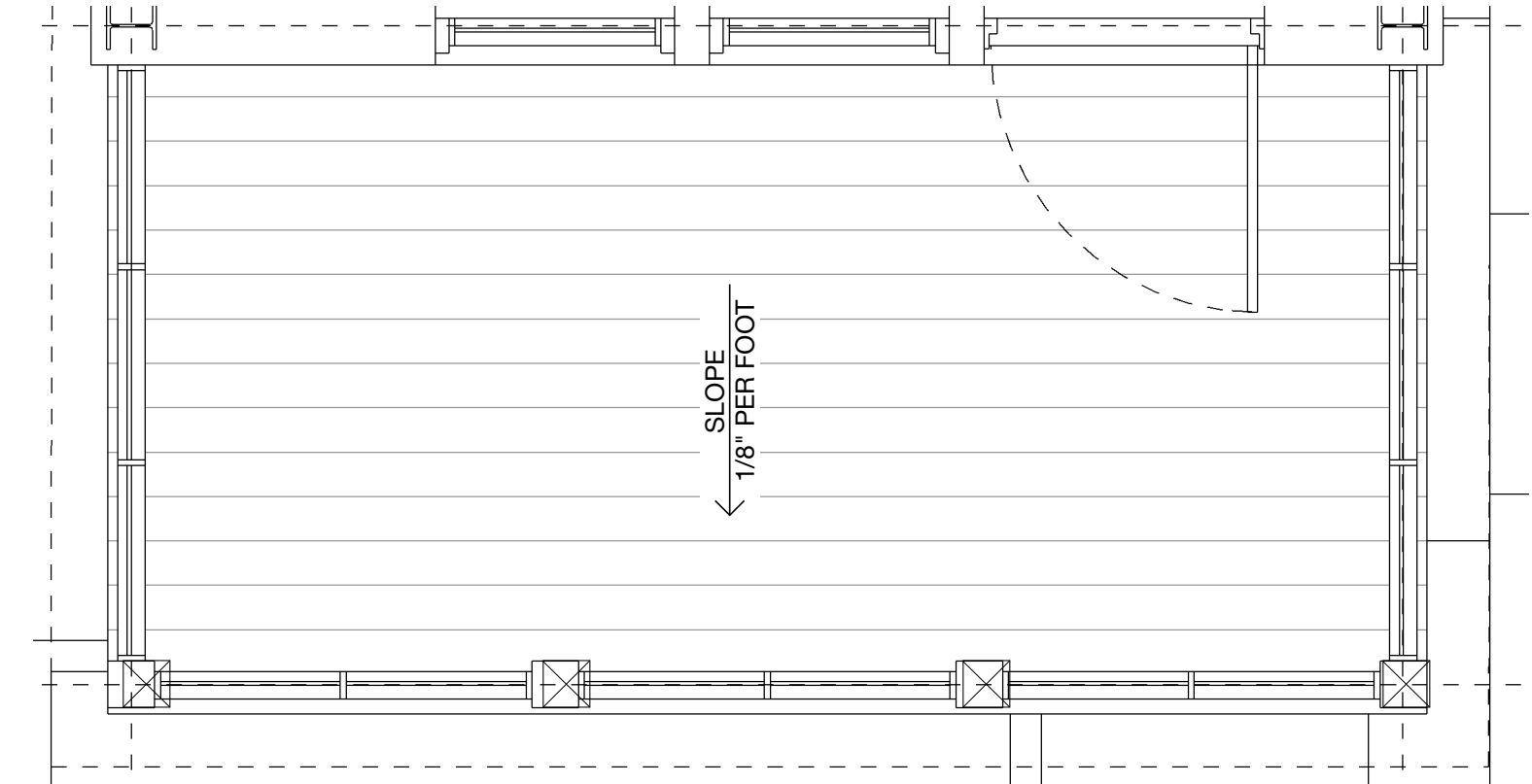
5 WEST ELEVATION - MAIN HOUSE ADDITION

Scale: 1/2"=1'-0"



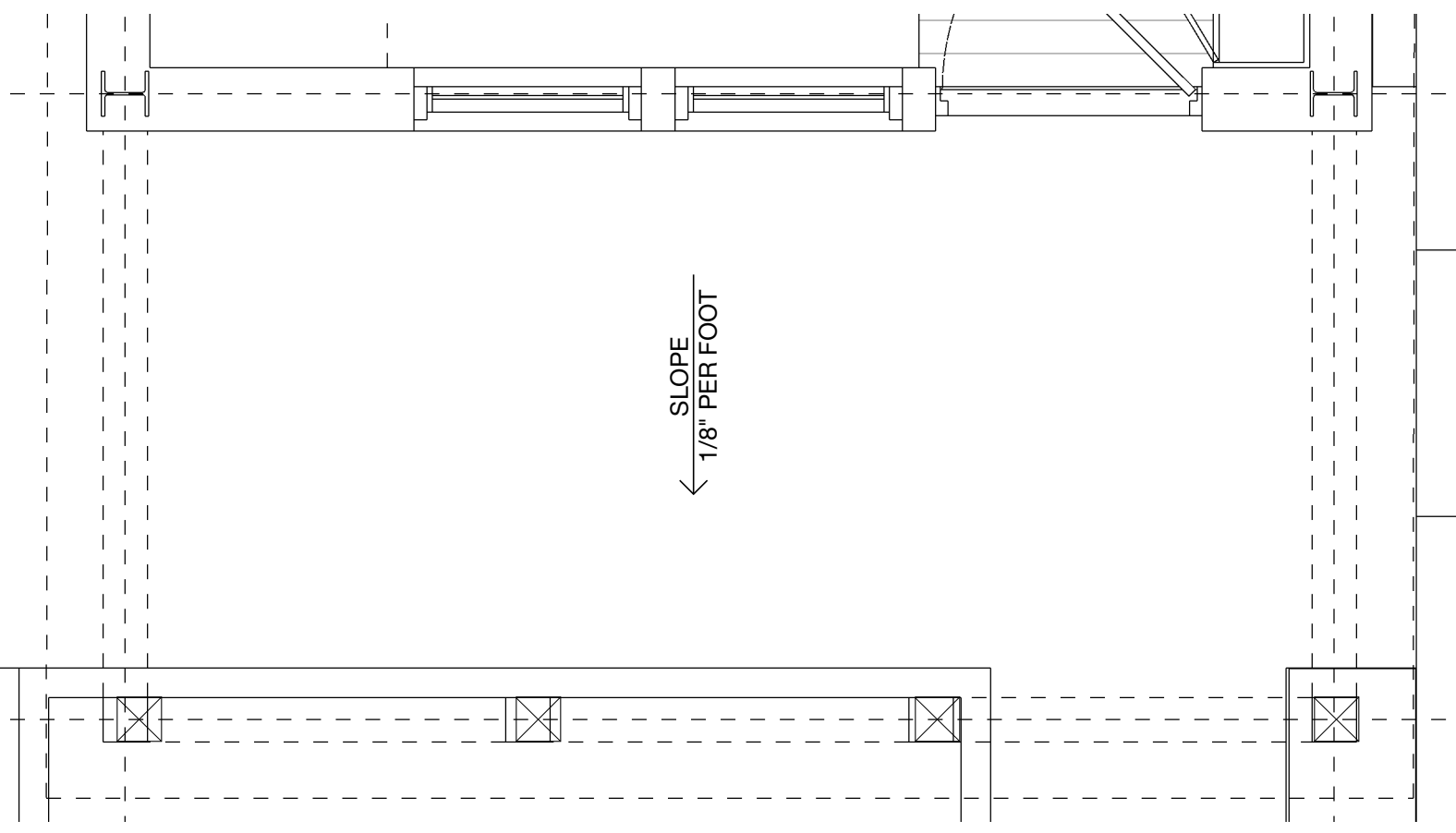
7 ROOF PLAN - AT MAIN HOUSE ADDITION

Scale: 1/2"=1'-0"



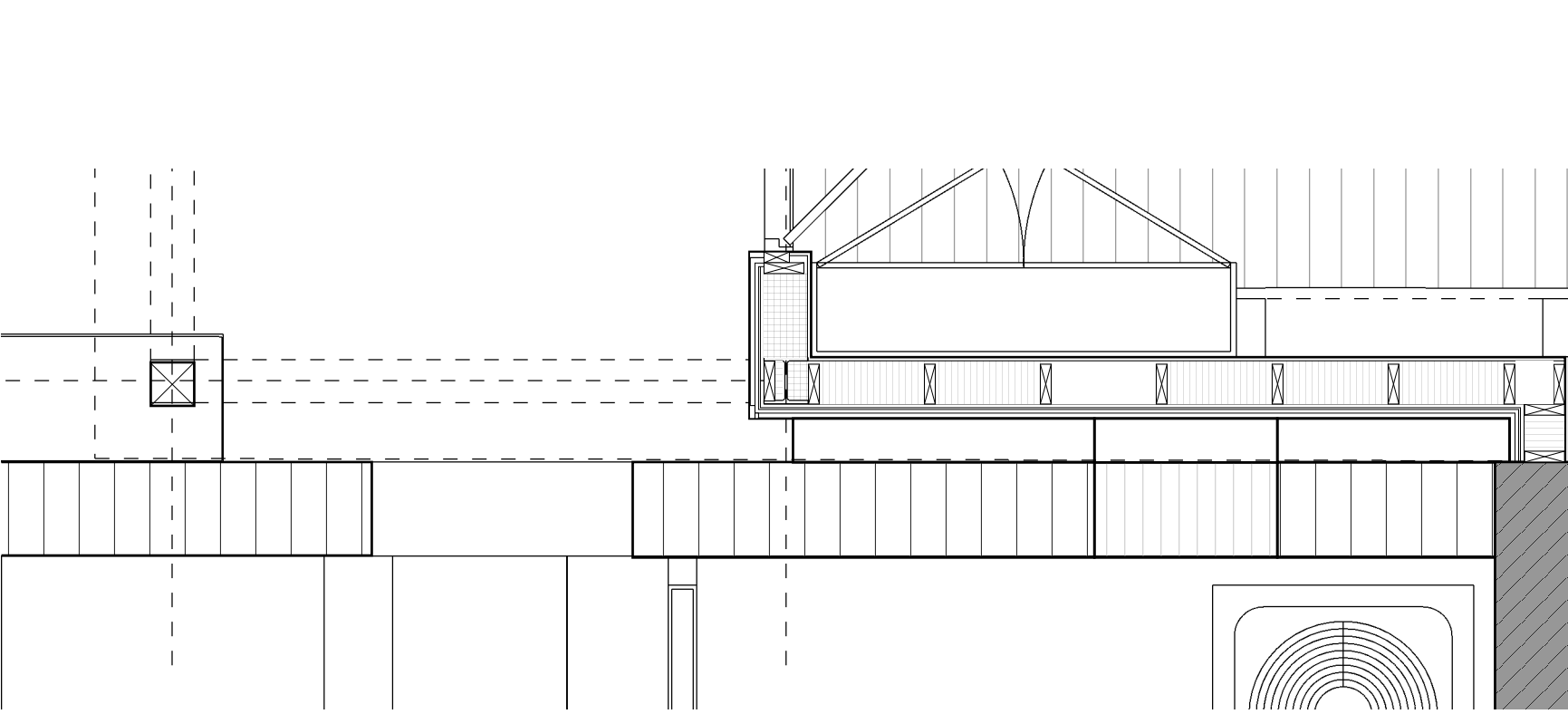
2 FLOOR PLAN - SECOND FLOOR BALCONY

Scale: 1/2"=1'-0"



1 FLOOR PLAN - FIRST FLOOR PORCH

Scale: 1/2"=1'-0"



6 WEST ELEVATION - MAIN HOUSE ADDITION

Scale: 1/2"=1'-0"

KEYNOTES

- 4.2 LUEDERS LIMESTONE CAP WITH 1/4" PER FOOT SLOPE VENEER
- 7.0 EXISTING GUTTER TO BE MODIFIED AND CONNECTED TO NEW DOWNSPOUT LOCATIONS
- 7.1 METAL FLASHING OVER 1X MAHOGANY SILL FINISH: PAINTGRIP
- 7.2 SINGLE PLY TPO WATERPROOFING, COLOR: WHITE OVER MANUFACTURER'S COVER BOARD AND XPS RIGID INSULATION
- 7.3 4" ROUND DOWNSPOUT WITH AREA DRAIN. FINISH: PAINTGRIP + EXT PAINT 01
- 7.4 TEMPERED GLASS CANOPY ON METAL STANDOFFS.

GENERAL NOTES

- GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONDITIONS UNCOVERED UPON DEMOLITION
- GENERAL CONTRACTOR TO VERIFY FIELD CONDITIONS PRIOR TO DETERMINING FINAL ROOF SLOPES AND DETAIL CONNECTIONS
- REFERENCE STRUCTURAL PLANS FOR STAIRCAL FRAMING MEMBER SIZES, LOCATIONS AND CONNECTION DETAILS.
- CONTRACTOR TO PROVIDE MATERIAL, FINISH AND PAINT SAMPLES TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR FABRICATION

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Prado Residence  
Remodel and Addition  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title

Enlarged Plans and  
Sections - Main House

phase

CD

revisions

drawing number

A4.1

11/11/2022





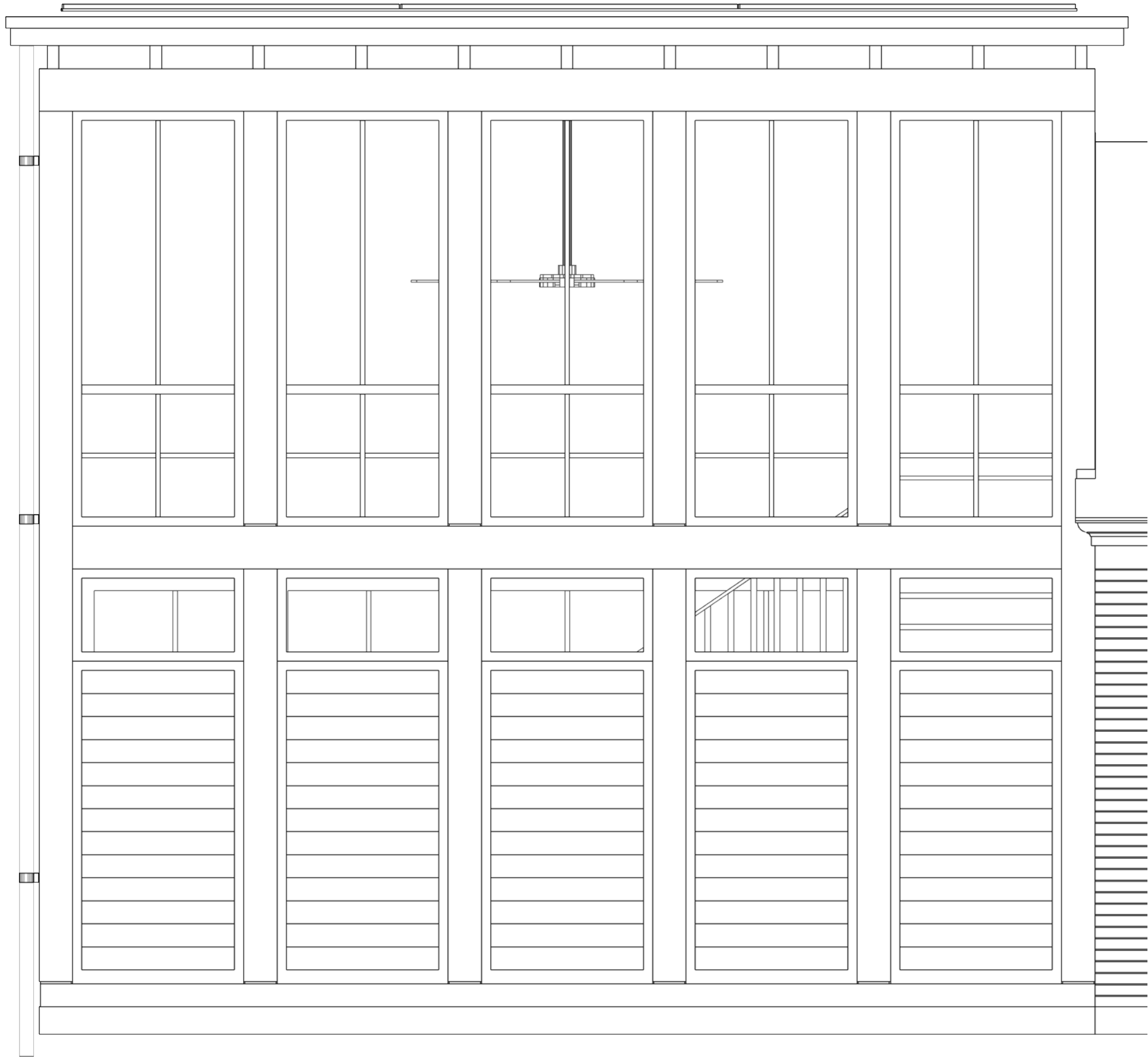
1 SOUTH ELEVATION - GARAGE ADDITION

Scale: 1/2"=1'-0"



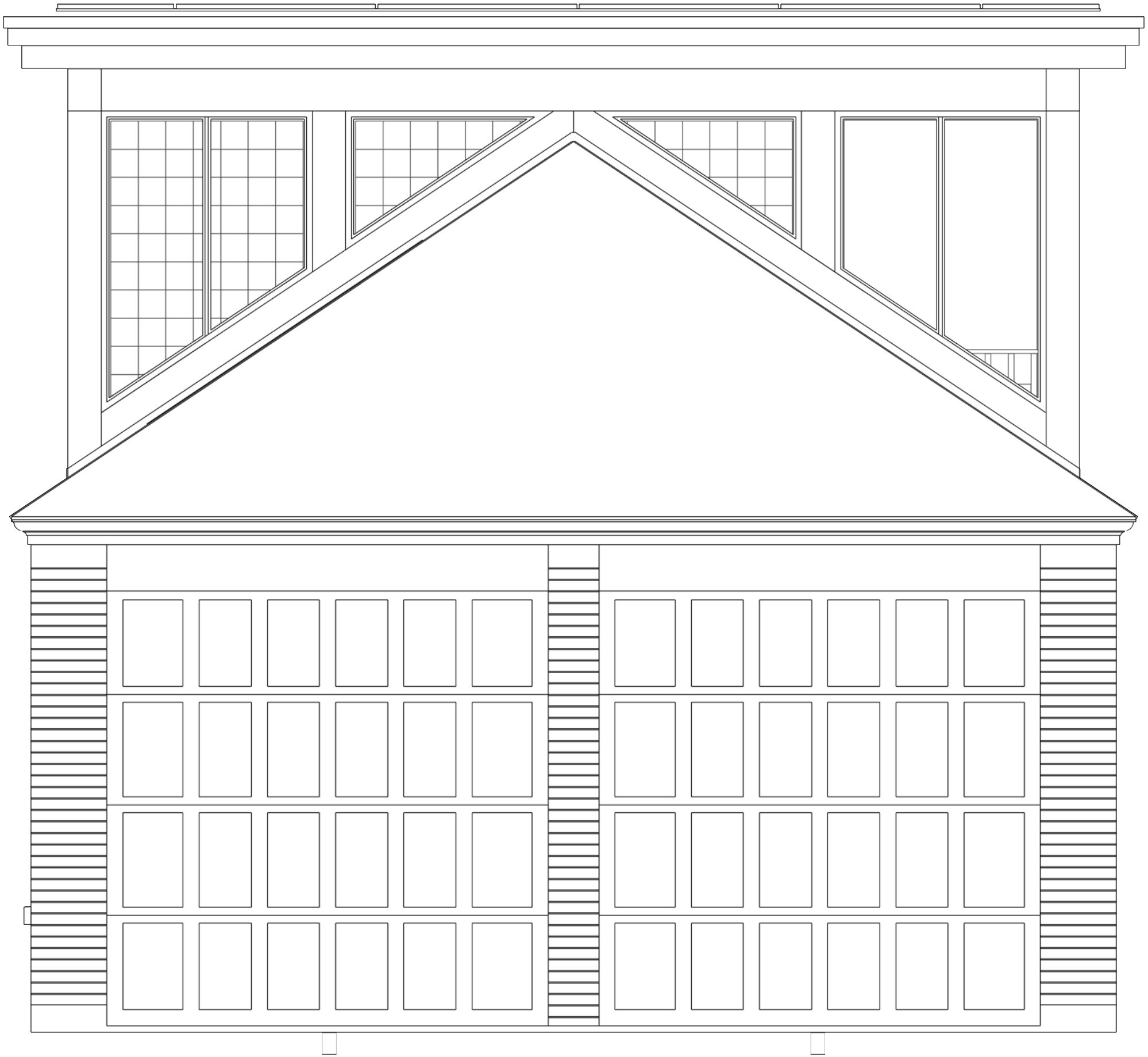
2 EAST ELEVATION - GARAGE ADDITION

Scale: 1/2"=1'-0"



3 SOUTH ELEVATION - GARAGE ADDITION

Scale: 1/2"=1'-0"



4 WEST ELEVATION - GARAGE ADDITION

Scale: 1/2"=1'-0"

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**Prado Residence**  
Remodel and Addition  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title

**Enlarged Plans and Details**  
- Garage Addition

phase

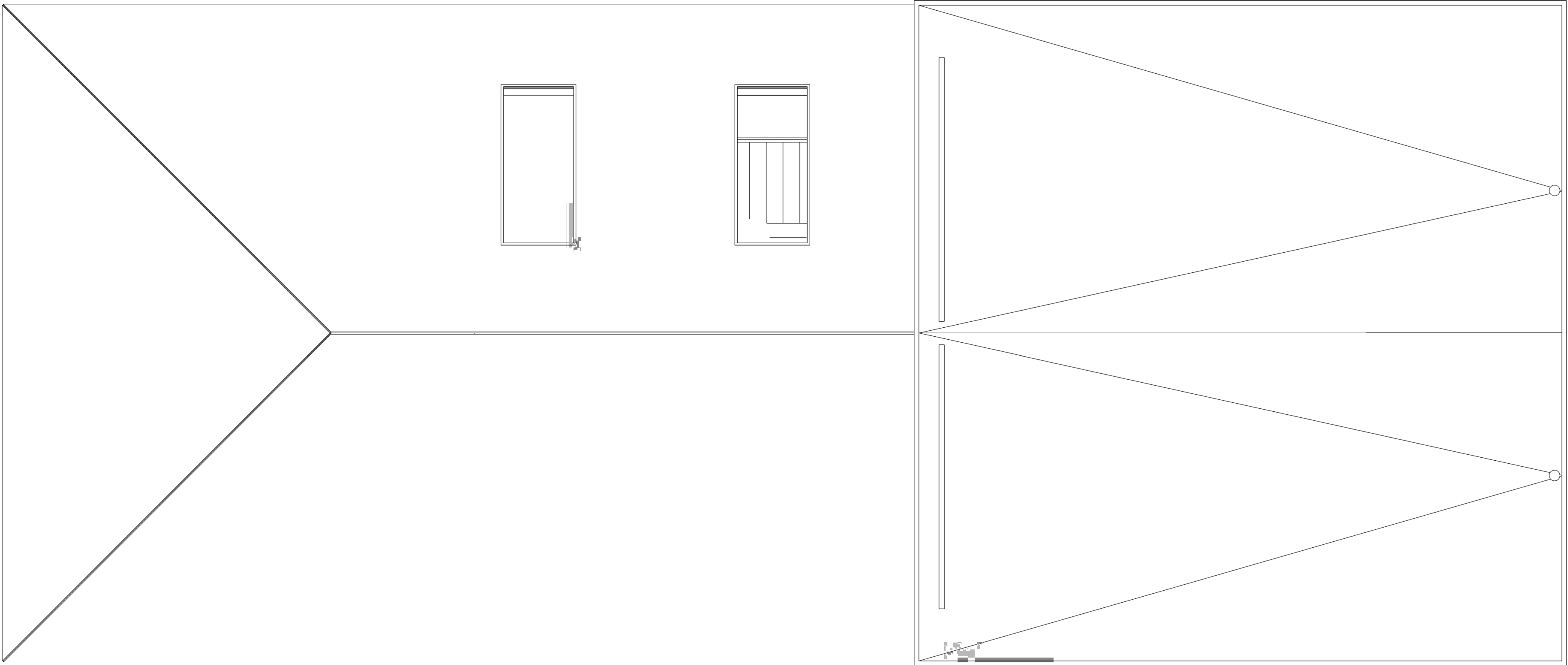
**CD**

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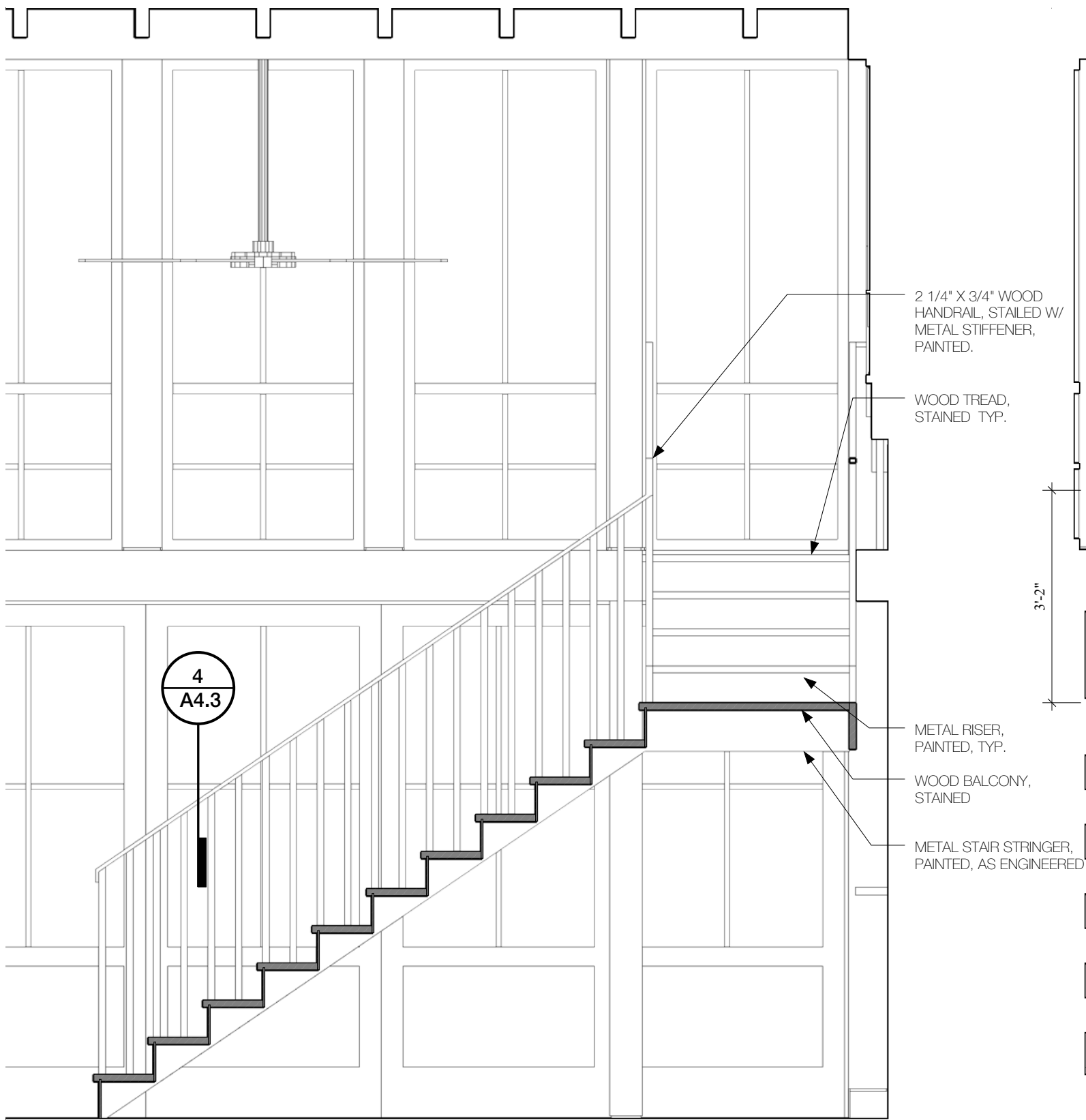
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**A4.2**

11/11/2022

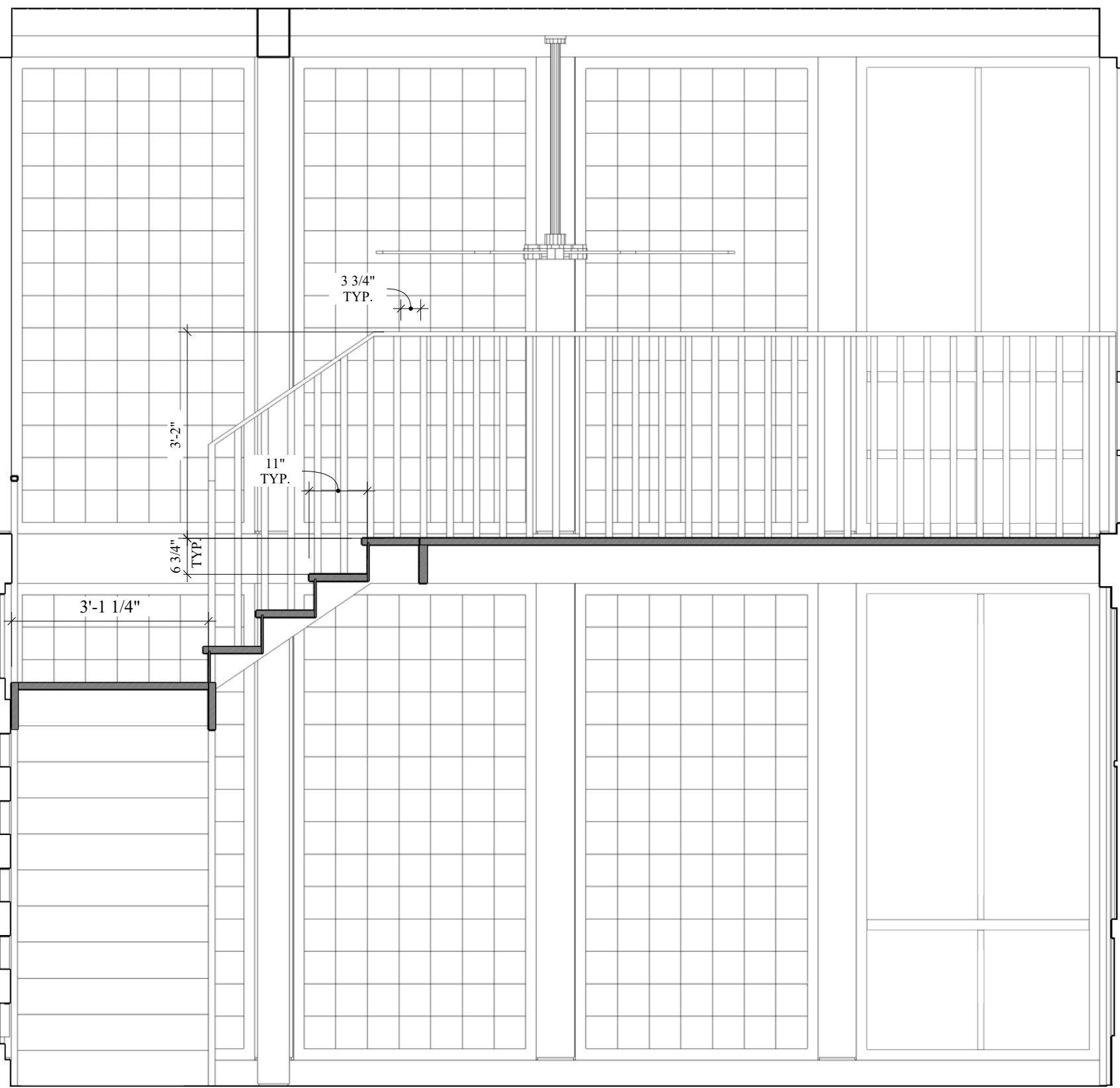


1 ROOF PLAN - GARAGE ADDITION



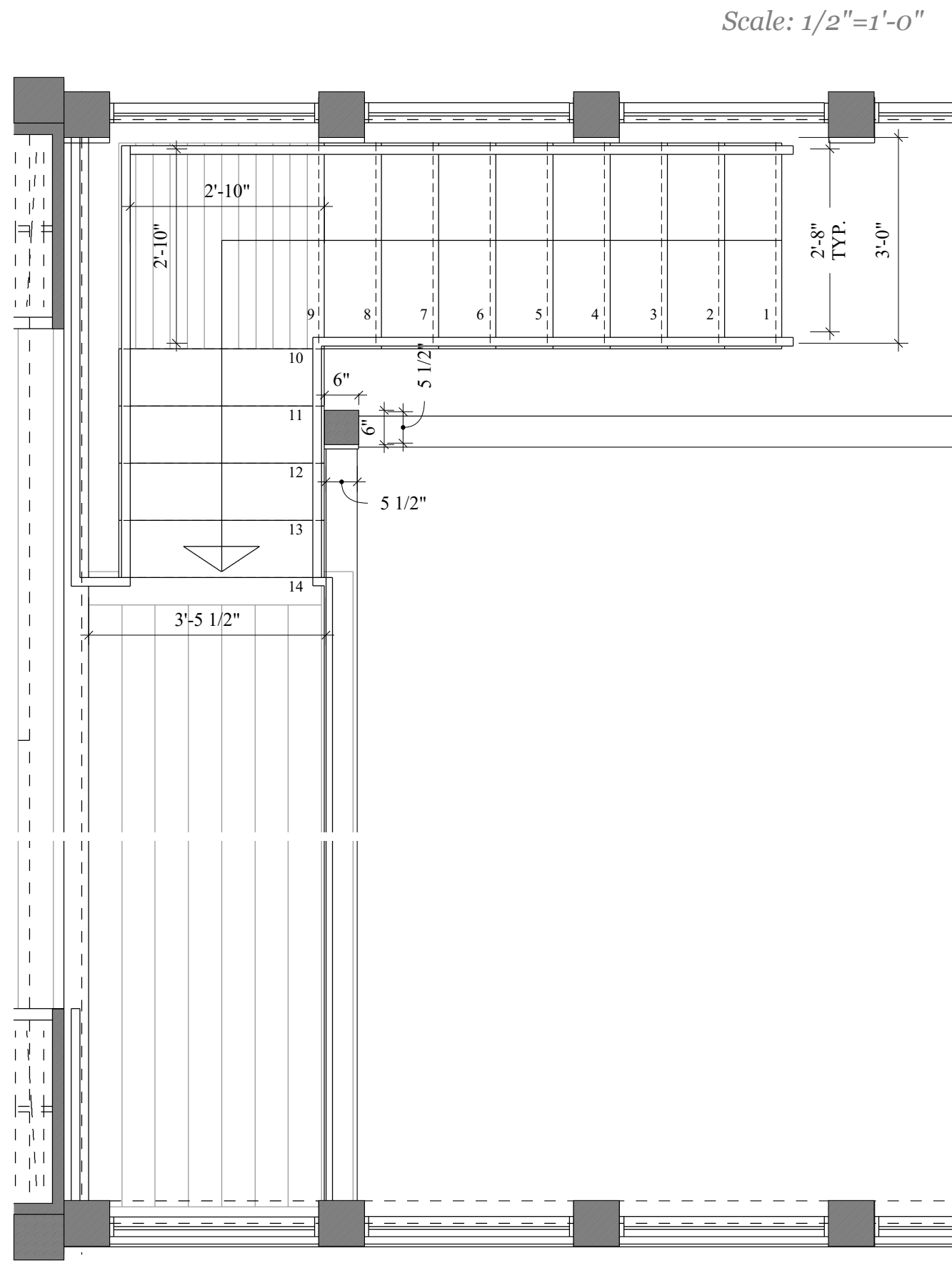
3 SECTION AT STAIR

Scale: 1/2"=1'-0"



3 SECTION AT STAIR BALCONY

Scale: 1/2"=1'-0"



2 ENLARGED SECOND FLOOR PLAN - LOFT BALCONY

Scale: 1/2"=1'-0"

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**Prado Residence**  
Remodel and Addition  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title

**Enlarged Plans and Details**  
- Garage Addition Stairs

phase

**CD**

revisions

drawing number

**A4.3**

11/11/2022

GENERAL NOTES

1. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY UNKNOWN CONDITIONS UNCOVERED UPON DEMOLITION
2. CONTRACTOR TO PROVIDE MATERIAL, FINISH AND PAINT SAMPLES TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR FABRICATION
3. GENERAL CONTRACTOR TO PATCH AND REPAIR AND REFINISH EXISTING WOOD FLOORING AS NECESSARY
4. GENERAL CONTRACTOR TO PATCH AND REPAIR AND REFINISH EXISTING GYPSUM CEILING AS NECESSARY
5. GENERAL CONTRACTOR TO PATCH AND REPAIR AND REFINISH EXISTING PLASTER WALLS AND CEILING AS NECESSARY / SPECIFIED

KITCHEN

- MATERIAL: -
- SIZE:
- THICKNESS:
- FINISH:
- SOURCE:

BAR

- MATERIAL: -
- SIZE:
- THICKNESS:
- FINISH:
- SOURCE:

MASTER BATH

- MATERIAL: -
- SIZE:
- THICKNESS:
- FINISH:
- SOURCE:

BATH 02

- MATERIAL: -
- SIZE:
- THICKNESS:
- FINISH:
- SOURCE:

STUDIO KITCHEN

- MATERIAL: -
- SIZE:
- THICKNESS:
- FINISH:
- SOURCE:

STUDIO BATH

- MATERIAL: -
- SIZE:
- THICKNESS:
- FINISH:
- SOURCE:

CONCRETE EXISTING

- PREP: CLEAN
- FINISH: SEAL

CONCRETE 01

- PREP: TROWELED FINISH
- FINISH: SEAL WITH CLEAR SATIN SEALER

5 FLOORING FINISH

Scale: N/A

4 TILE SCHEDULE

Scale: N/A

TILE 01

- PORCELAIN TILE
- MANUFACTURER: AMERICA OLEAN
- PRODUCT NAME: THEORETICAL
- COLOR: FUNDAMENTAL GRAY
- SIZE: 24"x12" (3/8" THICKNESS)
- SEALER: PER MANUFACTURER'S RECOMMENDATION
- GROUT: 1/8", LATICRETE PLATINUM

TILE 02

- PORCELAIN TILE
- MANUFACTURER: AMERICAN OLEAN
- PRODUCT NAME: THEORETICAL
- COLOR: FUNDAMENTAL GRAY
- SIZE: 2"x2" MOSAIC (1/4" THICKNESS)
- SEALER: PER MANUFACTURER'S RECOMMENDATION
- GROUT: 1/8", LATICRETE PLATINUM

TILE 03 - MASTER BATH SHOWER FLOOR

- GLAZED PORCELAIN TILE
- MANUFACTURER: AMERICAN OLEAN
- PRODUCT NAME: WHITE SUBWAY TILE
- SIZE: 3" X 6" (LAID IN RUNNING BOND PATTERN)
- SEALER: PER MANUFACTURER'S RECOMMENDATION
- GROUT: 1/8", LATICRETE PLATINUM

EXISTING WOOD FLOOR

- SAND AND REFINISH.
- FINISH: BONA NATURALSEAL, BONA TRAFFIC FINISH, SATIN SHEEN,

WOOD 01

- MATCH EXISTING WOOD FLOOR
- SPECIES: TBD, T+G RANDOM LENGTH PLANK FLOORING, WITH RANDON JOINT LAYOUT
- SAND AND FINISH.
- FINISH: BONA NATURALSEAL, BONA TRAFFIC FINISH, SATIN SHEEN,

WOOD 02

- IPE 2X6 T&G DECKING, CONFIRM SIZES WITH ENGINEERING
- FINISH: STAIN TO MATCH INTERIOR FLOOR

3 WOOD FLOOR SCHEDULE

Scale: N/A

INTERIOR

PAINT 01

- LATEX PAINT ON GYPSUM BOARD / STUCCO
- COLOR: BM WHITE CLOUD OC-130
- SHEEN: MATTE

PAINT 02

- LATEX PAINT ON GYPSUM BOARD / STUCCO
- COLOR: BM SIMPLY WHITE OC-117
- SHEEN: MATTE

PAINT W01

- LATEX PAINT ON WOOD
- COLOR: BM WHITE CLOUD OC-130
- SHEEN: SATIN

PAINT W02

- LATEX PAINT ON WOOD
- COLOR: BM IMPERIAL GRAY 1571
- SHEEN: SATIN

EXTERIOR

EXTERIOR PAINT 02

- LATEX PAINT ON WOOD
- COLOR: BM INTRIGUE 1580
- SHEEN: SATIN

2 PAINT & FINISH SCHEDULE

Scale: N/A

No.	ROOM	FLOOR									WALL								BASE TRIM				DOOR AND WINDOW TRIM				CEILING							REMARKS	
		WOOD - EXISTING	WOOD 01 - INTERIOR	WOOD 02 - EXTERIOR	TILE - EXISTING	TILE 01	TILE 02	CONCRETE EXISTING	CONCRETE 01		PLASTER - EXISTING	MASONRY - EXISTING	GYP - PAINT 01	WOOD - EXISTING SHIPLAP	WOOD - SIDING	WOOD ACQUSTICAL PANEL - CUSTOM	TILE 03		BASE - EXISTING	BASE 01	BASE 02	NO BASE - ALONG BRICK VENEER	TRIM - EXISTING	TRIM 01	OPENING - NO TRIM		EXISTING	GYPSUM - PAINT 02	WOOD - TYPE A INTERIOR	WOOD - TYPE B EXTERIOR	CEILING HEIGHT				
LEVEL 1 - Main House																																			
	LIVING ROOM	●								●								●				●				●			Existing						
	DINING ROOM	●								●								●				●				●			Existing						
	BAR		●							●								●				●	●			●			Existing		NEW WOOD FLOOR TO MATCH EXISTING				
	POWDER	●								●								●				●				●			Existing		NEW WOOD FLOOR TO MATCH EXISTING				
	PANTRY		●								●							●				●	●			●			Existing		NEW WOOD FLOOR TO MATCH EXISTING				
	SUNROOM				●					●								●				●				●			Existing		NEW WOOD FLOOR TO MATCH EXISTING				
	OFFICE		●							●								●				●				●			Existing		NEW WOOD FLOOR TO MATCH EXISTING				
	KITCHEN		●								●							●				●				●			Match		NEW WOOD FLOOR TO MATCH EXISTING				
LEVEL 1 - Garage																																			
	GARAGE							●				●						●				●				●			Exsiting						
	KITCHEN									●								●				●	●			●			7'-11"						
	BATH									●				●								●	●			●			7'-11"						
	STUDIO								●				●					●				●	●						16'-11 1/2"						
LEVEL 2 - Main House																																			
	STAIRS + STAIR HALL	●								●			●					●				●				●			Existing						
	FAMILY ROOM	●											●					●				●				●			Existing						
	BEDROOM 2	●											●					●				●				●			Existing						
	BATH 2					●							●					●				●				●			Existing						
	BEDROOM 3	●											●					●				●				●			Existing						
	MASTER BATH					●	●						●	●				●				●				●			Existing		NEW WOOD FLOOR TO MATCH EXISTING				
	MASTER BEDROOM		●								●	●						●				●				●			7'-4 1/2"		NEW WOOD FLOOR TO MATCH EXISTING				
	MASTER CLOSET		●									●						●				●				●			Existing		NEW WOOD FLOOR TO MATCH EXISTING				
	BALCONY			●									●								●					●			7'-10 1/4"						
LEVEL 2 - Garage																																			
	STAIRS + LANDING		●									●						●				●				●			7'-9"						
	LOFT		●									●		●				●				●				●			Varies						

REFER TO A1.1 and A1.2 FLOOR PLAND FOR ADDITIONAL INFORMATION REGARDING OPENING HEIGHTS, MATERIAL TRANSITIONS, THRESHOLDS ETC.

1 ROOM FINISH SCHEDULE

Scale: N/A

5 COUNTERTOP SCHEDULE

Scale: N/A

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Remodel and Addition  
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sheet title

Room Finish Schedule

phase

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revisions

drawing number

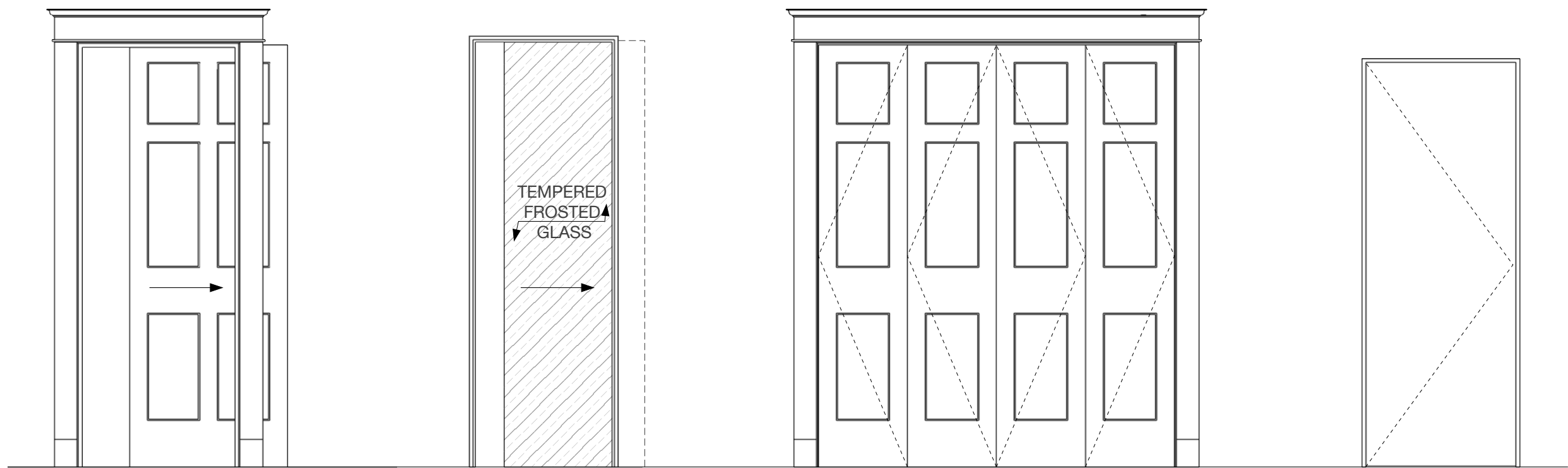
A6.1

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GENERAL NOTES

1. GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS AND CUTSHEETS PRIOR TO ORDERING OR FABRICATION OF DOORS AND HARDWARE.
2. REFERENCE A5.1 AND A5.2 FOR HEAD JAMB, SILL AND THRESHOLD DETAILS
3. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY UNKNOWN CONDITIONS UNCOVERED UPON DEMOLITION
4. GENERAL CONTRACTOR TO VERIFY DIMENSIONS OF WINDOW AND DOOR ROUGH OPENINGS PRIOR TO FABRICATION AND TO NOTIFY ARCHITECT OF DISCREPANCIES UNCOVERED IN FIELD
5. GENERAL CONTRACTOR TO PATCH AND REPAIR AND REFINISH EXISTING SURFACES AROUND NEW DOOR AND WINDOW INSTALLATIONS AS NECESSARY
6. REFERENCE A6.1 ROOM FINISH SCHEDULE FOR FINISH DETAILS



TYPE G

TYPE H

TYPE I

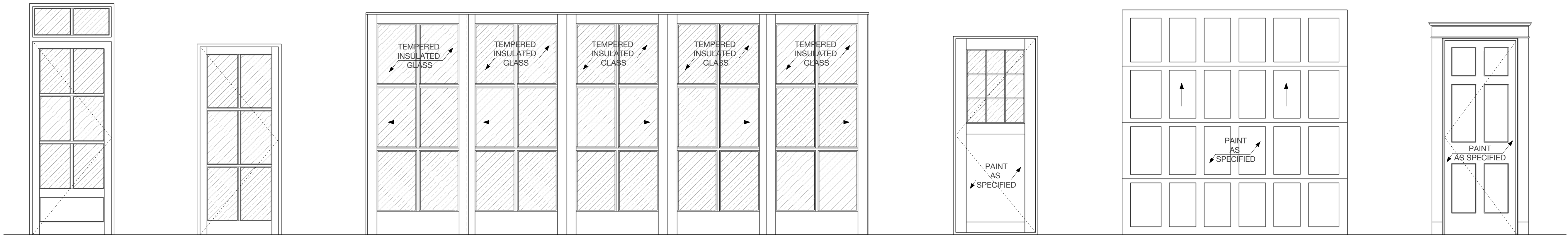
TYPE J

- ROUGH OPENING HEIGHT CALCULATED FROM ABOVE FINISH FLOOR
- REFER TO A6.1 FOR FINISHES
- \* VERIFY NECESSARY ROUGH OPENING HEIGHT AND WIDTH TO ACCOMMODATE POCKET DOOR HARDWARE AND POCKET DEPTH PRIOR TO FRAMING AND FABRICATION
- \*\* USE SPECIFIED DOOR HARDWARE SETS IF AVAILABLE WITH SELECTED MANUFACTURER'S DOORS. COORDINATE FINAL SELECTION OF DOOR HARDWARE WITH OWNER AND ARCHITECT IF SELECTED DOOR MANUFACTURER CANNOT INSTALL DOOR HARDWARE SETS AS SPECIFIED

USE DOUBLE PANE LOW-E IG WITH ARGON FILL, DARK BRONZE SPACER

1 DOOR SCHEDULE

MARK	INTERIOR OR EXTERIOR	WIDTH (ROUGH OPENING)	HEIGHT (ROUGH OPENING)	FRAME SIZE	THICKNESS	OPERATION TYPE	REUSE / REFURBISH / RELOCATE EXISTING DOOR / JAMB	NEW	DOOR TYPE	FRAME MATERIAL	EXTERIOR FINISH	INTERIOR FINISH	GLAZING	THRESHOLD	HARDWARE	MANUFACTURER	REMARKS
D01	EXT.	3'-0 1/2"	7'-9 3/4"	2'-10" x 7'-8"	1 3/4"	SWING		●	A	CLAD PINE, PAINT GRADE	PAINT EXT PAINT 02	PAINT W02	YES, TEMPERED	1/4" BRASS	SET 1	PELLA OR EQUAL	WITH FIXED UPPER TRANSOM DOUBLE PANE LOW-E IG WITH ARGON FILL, DARK BRONZE SPACER
D02	EXT.	3'-0 1/2"	6'-10 3/4"	2'-10" x 6'-9"	1 3/4"	SWING		●	B	CLAD PINE, PAINT GRADE	PAINT EXT PAINT 02	PAINT W02	YES, TEMPERED	1/4" BRASS	SET 2	PELLA OR EQUAL	DOUBLE PANE LOW-E IG WITH ARGON FILL, DARK BRONZE SPACER
D03	EXT.	17'-10 1/2"	8'-0 1/4"	(5) x 3'-8" x 7'-10 3/4"	1 3/4"	SLIDING XOOOX		●	C	CLAD PINE, PAINT GRADE	PAINT EXT PAINT 02	PAINT W02	YES, TEMPERED	TRACK PER MANUFACTURER	SET 3	PELLA OR EQUAL	DOUBLE PANE LOW-E IG WITH ARGON FILL, DARK BRONZE SPACER
D04	EXT.	3'-0 1/2" (Existing V.I.F.)	7'-1 1/2" (Existing V.I.F.)	2'-10" x 7'-0" (Existing V.I.F.)	EXISTING	SWING	●		D	EXISTING	PAINT EXT PAINT 02	PAINT W02	EXISTING	EXISTING	SET 1	-	-
D05	EXT.	EXISTING	EXISTING	EXISTING	EXISTING	GARAGE - OVERHEAD SECTIONAL	●		E	EXISTING	PAINT EXT PAINT 02	PAINT EXT PAINT 03	-	-	EXISTING	-	REPAIR AND REFINISH
D06	EXT.	EXISTING	EXISTING	EXISTING	EXISTING	GARAGE - OVERHEAD SECTIONAL	●		E	EXISTING	PAINT EXT PAINT 03	PAINT EXT PAINT 03	-	-	EXISTING	-	REPAIR AND REFINISH
D07	INT.	2'-10 1/2" (Existing V.I.F.)	7'-0 1/2" (Existing V.I.F.)	2'-8" x 6'-11"	1 3/8"	SWING	●		F	EXISTING	N/A	PAINT W01	NO	-	SET 4	-	RELOCATED EXISTING INTERIOR DOOR PER PLAN
D08	INT.	2'-10 1/2" (Existing V.I.F.)	7'-0 1/2" (Existing V.I.F.)	2'-8" x 6'-11"	1 3/8"	SWING		●	F	SOLID-CORE	N/A	PAINT W01	NO	-	SET 4	CUSTOM	MATCH PANEL STYLE AND DOOR CASING OF EXISTING INTERIOR DOORS
D09	INT.	2'-10 1/2" (Existing V.I.F.)	7'-0 1/2" (Existing V.I.F.)	2'-8" x 6'-11"	1 3/8"	SWING	●		F	EXISTING	N/A	PAINT W01	NO	-	SET 4	-	RELOCATED EXISTING INTERIOR DOOR PER PLAN
D10	INT.	2'-10 1/2" (Existing V.I.F.)	7'-0 1/2" (Existing V.I.F.)	2'-8" x 6'-11"	1 3/8"	SWING	●		F	EXISTING	N/A	PAINT W01	NO	-	SET 4	-	RELOCATED EXISTING INTERIOR DOOR PER PLAN
D11	INT.	2'-8 1/2"*	7'-0 1/2"*	2'-6" x 6'-11"	1 3/8"	POCKET		●	G	SOLID CORE	N/A	PAINT W01	NO	-	SET 5	CUSTOM	POCKET DOOR TO MATCH PANELING AND TRIM DETAILS OF EXISTING INTERIOR DOORS
D12	INT.	2'-10 1/2"*	7'-0 1/2"*	2'-8" x 6'-11"	1 3/8"	POCKET		●	G	EXISTING	N/A	PAINT W01	NO	-	SET 5	CUSTOM	POCKET DOOR TO MATCH PANELING AND TRIM DETAILS OF EXISTING INTERIOR DOORS
D13	INT.	2'-5 1/2"*	7'-0 1/2"*	2'-3" x 6'-11"	5/8"	POCKET		●	H	FRAMELESS GLASS	N/A		NO	-	SET 6	-	USE SAME HARDWARE SET AS ON FRAMELESS GLASS SHOWER DOOR
D14	INT.	2'-8 1/2" (Existing V.I.F.)	7'-0 1/2" (Existing V.I.F.)	2'-6" x 6'-11" (V.I.F.)	1 3/8"	SWING	●		F	EXISTING	N/A	PAINT W01	NO	-	SET 4	-	RELOCATED DOOR PER PLAN
D15	INT.	6'-6 1/2"	7'-0 1/2"	(4) x 1'-7" x 6'-11"	1 3/8"	BIFOLD		●	I	SOLID-CORE	N/A	PAINT W01	NO	-	SET 7	-	BIFOLD DOOR TO MATCH PANELING AND TRIM DETAILS OF EXISTING INTERIOR DOORS
D16	INT.	2'-10 1/2" (Existing V.I.F.)	7'-0 1/2" (Existing V.I.F.)	2'-8" x 6'-11" (V.I.F.)	1 3/8"	SWING	●		F	EXISTING	N/A	PAINT W01	NO	-	SET 4	-	RELOCATED DOOR PER PLAN
D17	INT.	2'-10 1/2"	7'-0 1/2"	2'-8" x 6'-11"	1 3/8"	POCKET		●	G	SOLID-CORE	N/A	PAINT W01	NO	-	SET 5	-	POCKET DOOR TO MATCH PANELING AND TRIM DETAILS OF EXISTING INTERIOR DOORS
D18	INT.	5'-2 1/2"	7'-0 1/2"	(4) x 1'-3" x 6'-11"	1 3/8"	BIFOLD		●	I	SOLID-CORE	N/A	PAINT W01	NO	-	SET 7	-	BIFOLD DOOR TO MATCH PANELING AND TRIM DETAILS OF EXISTING INTERIOR DOORS
D19	INT.	2'-10 1/2"	6'-9 1/2"	2'-8" x 6'-8"	1 3/8"	SWING		●	J	SOLID-CORE	N/A	PAINT W01	NO	-	SET 4	-	RELOCATED DOOR PER PLAN
D20	INT.	2'-8 1/2"	6'-9 1/2"	2'-6" x 6'-8"	1 3/8"	SWING		●	J	SOLID-CORE	N/A	PAINT W01	NO	-	SET 4	-	RELOCATED DOOR PER PLAN
D21	INT.	Existing	Existing	2'-8" x 6'-11" (V.I.F.)	1 3/8"	SWING	●		F	EXISTING	N/A	PAINT W01	NO	-	SET 4	-	EXISTING DOOR TO BE REFURBISHED & REFINISHED
D22	INT.	2'-10 1/2" (V.I.F.)	7'-0 1/2" (V.I.F.)	2'-8" x 6'-11" (Existing V.I.F.)	1 3/8"	SWING	●		F	EXISTING	N/A	PAINT W01	NO	-	SET 4	-	RELOCATED DOOR PER PLAN



TYPE A

TYPE B

TYPE C

TYPE D

TYPE E

TYPE F

2 DOOR TYPES

Scale: 1/2" = 1'-0"

seal

Not for construction, permitting or regulatory approval

dateNovember 11, 2022

architect

pamas

P&J And Mission Architecture Shop  
1149 E. Commerce St, Suite 200  
San Antonio, TX 78205

project name

Prado Residence  
Remodel and Addition  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title

Door and Sash Scheulde

phase

CD

revisions

drawing number

A6.2

11/11/2022

MARK	WIDTH	HEIGHT	ROUGH OPENING (Width x Height)	OPERATION TYPE	SILL HEIGHT	TYPE	FRAME MATERIAL	EXTERIOR FINISH	INTERIOR FINISH	MANUFACTURER	DOUBLE PANE LARGER WITH ARGON FILL, DARK BRONZE SPACER	SHUTTERS	REMARKS
W13	3'-0 1/2"	7'-1 1/4"	EXISTING	CASEMENT, OUTSWING	0'-0"	TYPE HH	ALU CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	TOP PORTION OF UNIT TO BE OPERABLE
W14	3'-10 1/2"	7'-6 1/2"	3'-11 1/4" x 7'-7 1/4"	FIXED	0'-5"	TYPE II	ALU CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	-
W15	3'-1 5/8"	7'-6 1/2"	3'-2 3/8" x 7'-7 1/4"	FIXED	0'-0"	TYPE LL	ALU CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	NO	-	-
W16	3'-1 5/8"	7'-6 1/2"	3'-2 3/8" x 7'-7 1/4"	FIXED	0'-0"	TYPE LL	ALU CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	NO	-	-
W17	3'-1 5/8"	7'-6 1/2"	3'-2 3/8" x 7'-7 1/4"	FIXED	0'-0"	TYPE LL	ALU CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	NO	-	-
W18	3'-1 5/8"	7'-6 1/2"	3'-2 3/8" x 7'-7 1/4"	FIXED	0'-0"	TYPE LL	ALU CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	-
W19	3'-1 5/8"	7'-6 1/2"	3'-2 3/8" x 7'-7 1/4"	FIXED	0'-0"	TYPE LL	ALU CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	-
W20	3'-10 1/2"	7'-6 1/2"	3'-11 1/4" x 7'-7 1/4"	FIXED	0'-0"	TYPE LL	ALU CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	-
W21	3'-1 5/8"	7'-6 1/2"	3'-2 3/8" x 7'-7 1/4"	FIXED	0'-0"	TYPE LL	ALU CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	-
W22	3'-1 5/8"	7'-6 1/2"	3'-2 3/8" x 7'-7 1/4"	FIXED	0'-0"	TYPE LL	ALU CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	-
W23	3'-1 5/8"	7'-6 1/2"	3'-2 3/8" x 7'-7 1/4"	FIXED	0'-0"	TYPE LL	ALU CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	-
W24	3'-1 5/8"	7'-6 1/2"	3'-2 3/8" x 7'-7 1/4"	FIXED	0'-0"	TYPE LL	ALU CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	-
W25	3'-1 5/8"	7'-6 1/2"	3'-2 3/8" x 7'-7 1/4"	FIXED	0'-0"	TYPE LL	ALU CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	-
W26	V.I.F.	VARIES	V.I.F.	FIXED	0'-0"	TYPE MM	ALU CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	CUSTOM SHAPE WINDOW INTO THE TRIANGULAR GABLE OPENING
W27	V.I.F.	VARIES	V.I.F.	FIXED	0'-0"	TYPE MM	ALU CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	CUSTOM SHAPE WINDOW INTO THE TRIANGULAR GABLE OPENING

ROUGH OPENING HEIGHT CALCULATED FROM ABOVE FINISH FLOOR  
REFERENCE A6.1 FOR FINISHES  
FOR OPERABLE WINDOWS - INSTALL CRANK-OUT HARDWARE, WEATHERSTRIPPING, HARDWARE, HINGES TO BE DARK BRONZE / OIL RUBBED BRONZE  
FOR FIXED WINDOWS - INSTALL HINGES TO BE DARK BRONZE / OIL RUBBED BRONZE

\* PROVIDE ALTERNATE PRICING FOR PELLA ARCHITECT SERIES TRADITIONAL PRECISION FIT CASEMENT WINDOWS

3 WINDOW SCHEDULE - STUDIO

No Scale

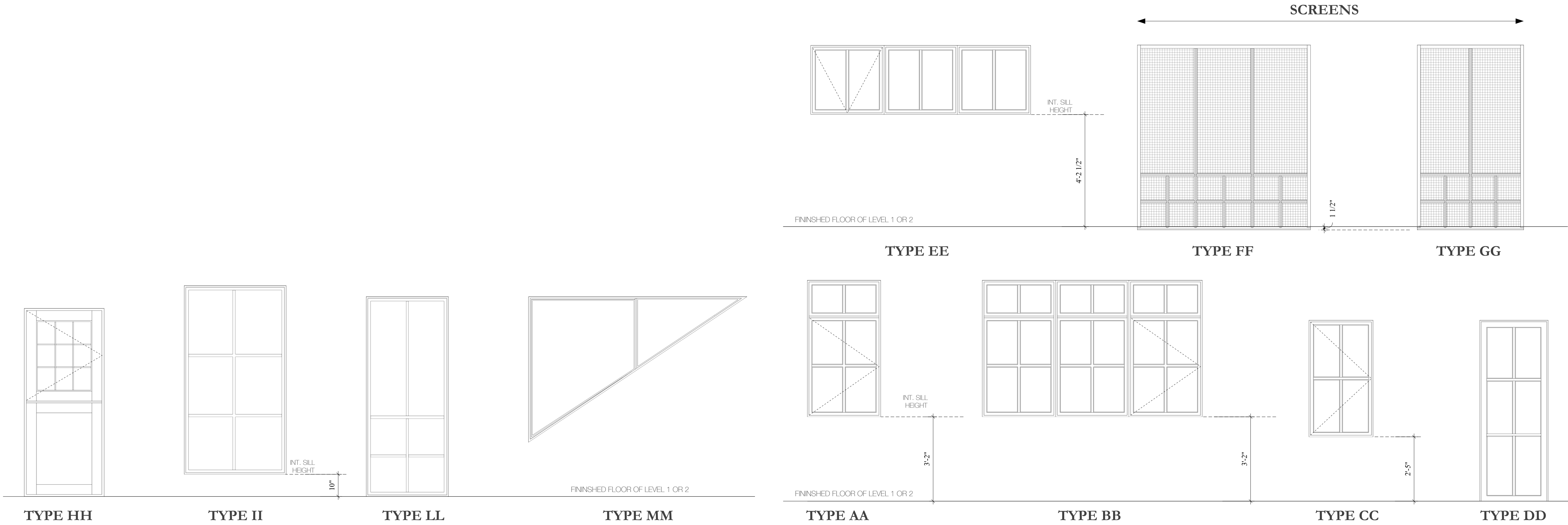
MARK	WIDTH	HEIGHT	ROUGH OPENING (Width x Height)	OPERATION TYPE	SILL HEIGHT	TYPE	FRAME MATERIAL	EXTERIOR FINISH	INTERIOR FINISH	MANUFACTURER	DOUBLE PANE LOW-E IG WITH ARGON FILL, DARK BRONZE SPACER	SHUTTERS	REMARKS
W1	2'-7"	5'-2"	2'-7 3/4" x 5'-2 3/4"	CASEMENT OUTSWING	3'-2"	TYPE AA	ALUMINUM CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	FIXED TRANSOM ABOVE OPERABLE UNIT
W2	2'-7"	5'-2"	2'-7 3/4" x 5'-2 3/4"	FIXED	3'-2"	TYPE AA	ALUMINUM CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	FIXED TRANSOM ABOVE OPERABLE UNIT
W3	8'-3 1/2"	5'-2"	8'-4 1/4" x 5'-2 3/4"	CASEMENT, OUTSWING	3'-2"	TYPE BB	ALUMINUM CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	3 IDENTICAL UNIT MULLED TOGETHER
W4	2'-5 1/2"	4'-5"	2'-10" x 2'-8"	CASEMENT, OUTSWING	2'-5"	TYPE CC	ALUMINUM CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	-
W5	2'-8 1/2"	6'-10"	2'-9 1/4" x 6'-10 3/4"	FIXED	0'-0"	TYPE DD	ALUMINUM CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	-
W6	2'-8 1/2"	6'-10"	2'-9 1/4" x 6'-10 3/4"	FIXED	0'-0"	TYPE DD	ALUMINUM CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	-
W7	8'-3 1/2"	2'-7 1/2"	8'-4 1/4" x 2'-8 1/4"	FIXED / KICK- OUT	4'-2 1/2"	TYPE EE	ALUMINUM CLAD	EXT PAINT 02	PAINT W02	PELLA OR EQUAL	YES	-	3 IDENTICAL UNIT MULLED TOGETHER
W8	6'-5 3/4"	6'-11 3/4"	6'-6 1/2" x 7'-9 1/2"	FIXED	0'-0"	TYPE FF	MAHOGANY OR CYPRESS	EXT PAINT 02	EXT PAINT 02	CUSTOM	NO	-	SASHES WITH SCREENS - SCREEN TO BE SELECTED BY ARCHITECT
W9	4'-0 1/2"	6'-11 3/4"	4'-1 1/4" x 7'-9 1/2"	FIXED	0'-0"	TYPE GG	MAHOGANY OR CYPRESS	EXT PAINT 02	EXT PAINT 02	CUSTOM	NO	-	SASHES WITH SCREENS - SCREEN TO BE SELECTED BY ARCHITECT
W10	4'-0 1/2"	6'-11 3/4"	4'-1 1/4" x 7'-9 1/2"	FIXED	0'-0"	TYPE GG	MAHOGANY OR CYPRESS	EXT PAINT 02	EXT PAINT 02	CUSTOM	NO	-	SASHES WITH SCREENS - SCREEN TO BE SELECTED BY ARCHITECT
W11	4'-0 1/2"	6'-11 3/4"	4'-1 1/4" x 7'-9 1/2"	FIXED	0'-0"	TYPE GG	MAHOGANY OR CYPRESS	EXT PAINT 02	EXT PAINT 02	CUSTOM	NO	-	SASHES WITH SCREENS - SCREEN TO BE SELECTED BY ARCHITECT
W12	6'-5 3/4"	6'-11 3/4"	6'-6 1/2" x 7'-9 1/2"	FIXED	0'-0"	TYPE FF	MAHOGANY OR CYPRESS	EXT PAINT 02	EXT PAINT 02	CUSTOM	NO	-	SASHES WITH SCREENS - SCREEN TO BE SELECTED BY ARCHITECT

ROUGH OPENING HEIGHT CALCULATED FROM ABOVE FINISH FLOOR  
REFERENCE A6.1 FOR FINISHES  
FOR OPERABLE WINDOWS - INSTALL CRANK-OUT HARDWARE, WEATHERSTRIPPING, HARDWARE, HINGES TO BE DARK BRONZE / OIL RUBBED BRONZE  
FOR FIXED WINDOWS - INSTALL HINGES TO BE DARK BRONZE / OIL RUBBED BRONZE

\* PROVIDE ALTERNATE PRICING FOR PELLA ARCHITECT SERIES TRADITIONAL PRECISION FIT CASEMENT WINDOWS

1 WINDOW SCHEDULE - MAIN HOUSE

No Scale



2 WINDOW TYPES - MAIN HOUSE

Scale 1/2"=1'-0"

2 WINDOW TYPES - MAIN HOUSE

Scale 1/2"=1'-0"

seal  
Not for  
construction,  
permitting or  
regulatory approval  
dateNovember 11, 2022

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Poli And Mission Architecture Shop  
1149 E. Commerce St, Suite 200  
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project name  
Prado Residence  
Remodel and Addition  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title  
Window Schadule













phase  
CD

revisions

drawing number  
A6.3  
11/11/2022

















LIGHTING FIXTURE SCHEDULE - STUDIO

Symbol	Description	Manufacturer	Model Number
M 	Paloma 6" cylindrical Adjustable Beam LED Monopoint Spot	WAC Lighting	MO4023 927 Finish: Black Color Temp.: 2700K
Image 			
R1 	ELEMENT 3" Square Recessed LED downlight - 2700K, Dimmable	TECH LIGHTING	E3S L LH 927 25 A N downlight reflector flangeless trim White color (paintable)
Image 			
C2 	Custom Light Fixture at mirror#1	PROVIDE AN ALLOWANCE OF: \$750.00	
L1 	Design 128 Surface 1707 White	Novalex	NF-DS-O-128-24-2700K
Image 			
PM 	Plugmold - Installed to the underside of upper Cabinets or shelves	LEGRAND AL SERIES OR EQUAL	AL SERIES OR EQUAL
XLED 	DRD6S - 18" Linear 18" Linear Surface Mount LED Area Light	DMF Lighting	DRD6S Finish: WHITE Color Temp.: 2700K -Exterior
Image 			
F2 	Indoor Ceiling Fan 84" 6-Blade Ceiling Fan in BLACK Aluminum Finish	BigAssFan	i6 Finish: Black
Image 			

2 LIGHTING FIXTURE SCHEDULE - STUDIO




Scale: N/A

LIGHTING FIXTURE SCHEDULE - MAIN RESIDENCE

Symbol	Description	Manufacturer	Model Number
<div><div>XM</div><div></div></div>	Paloma 6" cylindrical Adjustable Beam LED Monopoint Spot	WAC Lighting	MO4023 927 Finish: Black Color Temp.: 2700K
Image			
<div><div>PN</div><div></div></div>	Tube Architectural 5" Single Wall Mount	WAC Lighting	DS-WS0517-N27S-BK Finish: Black Color temp.: 2700K
Image			
<div><div>R1</div><div></div></div>	ELEMENT 3" Square Recessed LED downlight - 2700K, Dimmable	TECH LIGHTING	<b>E3S L LH 927 25 A N</b> downlight reflector flangeless trim White color (paintable)
Image			
<div><div>RW</div><div></div></div>	ELEMENT 3" Square Recessed LED wall wash - 2700K, Dimmable	TECH LIGHTING	<b>E3S L LH 927</b> Flangeless Bevel in antique bronze finish in Wood Ceiling
Image			
<div><div>L1</div><div></div></div>	Design 128 Surface 1707 White	Novalex	NF-DS-O-128-24-2700K
Image			
<div><div>L2</div><div></div></div>	Design 128 Surface 1707 White	Novalex	NF-DS-O-128-24-2700K
Image			
<div><div>P2</div><div></div></div>	Pendant Light	PROVIDE AN ALLOWANCE OF \$500.00 PER FIXTURE	
Image			
<div><div>PM</div><div></div></div>	Plugmold - Installed to the underside of upper Cabinets or shelves	LEGRAND AL SERIES OR EQUAL	AL SERIES OR EQUAL

1 LIGHTING FIXTURE SCHEDULE - MAIN RESIDENCE

Scale: N/A

Symbol	Description	Manufacturer	Model Number
<div><div>P1</div><div>Pendant Light - EXISTING</div><div>-</div><div>-</div></div> <div>Image</div> <div></div> <div>TO BE PROTECTED DURING CONSTRUCTION</div>			
<div><div>C2</div><div>Custom Light Fixture at mirror#1</div><div>PROVIDE AN ALLOWANCE OF: \$750.00</div></div>			
<div><div>C3</div><div>Custom Light Fixture at mirror#1</div><div>PROVIDE AN ALLOWANCE OF: \$750.00</div></div>			
<div><div>F1</div><div>Indoor Ceiling Fan 652" 3-Blade Ceiling Fan in Flat White Finish</div><div>MinkaAire</div><div>F787-WHF</div></div> <div>Image</div> <div></div>			
<div><div>XF</div><div>Outdoor Ceiling Fan 52" 3-Blade Ceiling Fan in Oil Rubbed Bronze Finish with Medium Maple Blades</div><div>MinkaAire</div><div>F787-ORB</div></div> <div>Image</div> <div></div>			

GENERAL NOTES

- GENERAL CONTRACTOR TO SUBMIT PRODUCT CUTSHEETS TO OWNER AND ARCHITECT FOR FINAL APPROVAL.
- REFER TO REFLECTED CEILING PLAN (A1.3) AND INTERIOR ELEVATIONS FOR LOCATIONS OF LIGHT FIXTURES, OUTLETS, SWITCHES, AND FANS
- GENERAL CONTRACTOR TO PROVIDE ELECTRICAL INFRASTRUCTURE, WIRING, AND GROUNDING TO COMPLY WITH ALL CODES AND STANDARDS REQUIRED BY THE CITY OF SAN ANTONIO.
- SEE FLOOR PLANS AND INTERIOR ELEVATIONS FOR PLUMBING FIXTURE LOCATIONS IN RELATION TO ADJACENT BUILDING COMPONENTS.
- GENERAL CONTRACTOR TO PROVIDE PLUMBING INFRASTRUCTURE AND TO COMPLY WITH CODES AND STANDARDS REQUIRED BY THE CITY OF SAN ANTONIO
- SEE INTERIOR ELEVATIONS FOR LOCATION OF APPLIANCES, COVER PANELS, AND HANDLE LOCATIONS
- GENERAL CONTRACTOR TO PROVIDE PLUMBING AND ELECTRICAL INFRASTRUCTURE AS REQUIRED PER APPLIANCE MANUFACTURERS' INSTRUCTIONS
- BATH ACCESSORIES TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR

seal

Not for construction, permitting or regulatory approval

dateNovember 11, 2022

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San Antonio, TX 78205

project name

Prado Residence  
Remodel and Addition  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title

Project Schedules -  
Lighting Fixtures

phase

CD

revisions

drawing number

A6.4

11/11/2022



## APPLIANCE SCHEDULE - MAIN HOUSE

Symbol	Description	Manufacturer	Model Number
A1	36" Gas Range PRO-STYLE® 36" DUAL-FUEL RANGE WITH MULTIMODE® CONVECTION	JennAir	JDRP436WP
Image			
A2	Downdraft Hood JennAir Euro- Style Series - 36 Inch Downdraft Range Hood with 4-Speeds, 600 CFM Blower	JennAir	JXD7036YS
Image			
A3	32" Column Refrigerator - Frigidaire Professional 19 Cu. Ft. Single-Door Refrigerator	Frigidaire Professional	FFRU19F8WF
Image			
A4	32" Column Freezer - Frigidaire Professional 19 Cu. Ft. Single-Door Freezer	Frigidaire Professional	FFFU19F8WF
Image			
A5	Garbage Disposal InSinkErator Evolution Compact 3/4 HP	InSinkErator	Evolution Compact, Quiet Series
Image			
A6	Built-In Dishwasher Bosch - 800 Series 24" ADA Top Control Built-In Dishwasher with 3rd Rack, HomeConnect, 42 dBA	Bosch	SCV78B53UC
Image			
AP8	Oven - 30" Single Electric Wall Oven with Eco Clean, Bread Proofing, Heavy-Duty Metal Knobs, 4.6 cu. ft. Oven, Kitchen Timer and Star-K Certified	Bosch	HBL5351UC
Image			
AP9	Microwave - 1.8 cu. ft. Over-the- Range Microwave Oven with 1,000 Cooking Watts, 385 CFM, Convection Cooking, Sensor Cooking	Bosch 800 Series	HMW8053U
Image			
A9	Built-in Undercounter Wine Cooler, 18" Width with 34 Bottle Capacity, Factory- Installed Lock, Digital Thermostat, CFC Free and 3.3 cu. ft. Capacity	Summit	SWC1840BCSS
Image			
A10	Icemaker - 15 Inch Undercounter Ice Maker with Daily 12 lbs. Crescent Ice Capacity, Insulated Storage Bin, Reversible Door, Drain Free, 304 Grade Stainless Steel Exterior	Summit	BM25H-D32
Image			
A11 & A12	Washer & Dryer - Side-by-Side Washer & Dryer Set with Front Load Washer and Electric Dryer in Titanium	Electrolux	ELWADRET76001
Image			

### 3 APPLIANCE SCHEDULE

Scale: N/A

## APPLIANCE SCHEDULE - STUDIO

[illegible]

## PLUMBING FIXTURE SCHEDULE - MAIN HOUSE

Symbol	Description	Manufacturer	Model Number
P1	Kitchen Sink Elkay Quartz Classic 33" Undermount Single Basin Quartz Composite Sink Quartz - White	Elkay 	ELGRU13322WHOC
P2	Kitchen Faucet Hansgrohe Tails S <sup>®</sup> 1.75 GPM Pull- Down Kitchen Faucet HighArc Spout Finish: Polished Chrome	Hansgrohe 	14877001
P3	Bar Sink - Elkay Quartz Classic 15-3/4" x 15- 3/4" x 7- 11/16", Single Bowl Dual Mount Bar Sink	ELKAY 	ELG1616BK0
P4	Bar Faucet Elkay Avado 1.8 GPM Single Hole Pull Down Bar Faucet - Includes Escutcheon	Elkay 	LKAV3032MB
P5	Master Bath & Bath 02 Sink 19-13/16" Rectangular Undermount Sink with Vertical Sides and Overflow Finish: White	KOHLER 	K-2882-0
P6	Master Bath Faucet Metris S 1.2 GPM Single Hole Bathroom Faucet with EcoRight, Quick Clean Finish: Polished Chrome	Hansgrohe 	31020001
P7	Master Bath Tub Hiscous 67" x 29- 1/2 in. Freestanding Soaker Bathtub with Center Drain in Finish: White, Material: Acrylic	Signature Hardware 	447006
P8	Master Bath Tub Filler Simoni freestanding tub faucet and shower Finish: Polished Chrome	Signature Hardware 	910185
P9	Master Shower Kit Raindance S Thermostatic Showerhead/Matiba r Set with Rough, 2.5 GPM Finish: Polished Chrome	Hansgrohe 	4915000
P10	Master Shower Drain Signature Hardware 4" Thornton Square Shower Drain Finish: Polished Chrome	Signature Hardware 	406470
P11	Toilet Fixture Drake II Two Piece Elongated 1.28 GPF Toilet with CeFiONtect and Tornado Flush Technology Finish: White	Toto 	CST454CEFG#01

## PLUMBING FIXTURE SCHEDULE - MAIN HOUSE

[illegible]

## PLUMBING FIXTURE SCHEDULE - STUDIO

Symbol	Description	Manufacturer	Model Number
P15	Studio Sink - Quartz Classic 24-5/8" Undermount Single Basin Quartz Composite Kitchen Sink	ELKAY	ELGU2522WH-0
P2	Bar Faucet Hansgrohe Tails 5" 1.75 GPM Pull-Down Kitchen Faucet HighArc Spout Finish: Polished Chrome	Hansgrohe	LKAV3032CR
P5	Studio Bath Sink 19-13/16" Rectangular Undermount Bathroom Sink with Vertical Sides and Overflow Finish: White	Kohler	K-2882-0
P14	Studio Bath Faucet Metris S 1.2 GPM Single Hole Bathroom Faucet with EcoRight, Quick Clean, and ComfortZone Technologies - Drain Assembly Included Finish: Polished Chrome	Hansgrohe	31060001
P15	Studio Bath Shower Kit Hansgrohe Ooma Thermostatic Showerpipe 220 1-Jet, 2.5 GPM Finish: Polished Chrome	Hansgrohe	27185001
P10	Laundry Drain Cover Master Shower Drain Signature Hardware 4" Thornton Square Shower Drain Finish: Polished Chrome	Signature Hardware	406470
P11	Toilet Fixture Drake II Two Piece Elongated 1.28 GPF Toilet with CeFIONtect and Tornado Flush Technology Finish: White	Toto	CST4540CEFG#01

## GENERAL NOTES

1. GENERAL CONTRACTOR TO SUBMIT PRODUCT CUTSHEETS TO OWNER AND ARCHITECT FOR FINAL APPROVAL.
2. REFER TO REFLECTED CEILING PLAN (A1.3) AND INTERIOR ELEVATIONS FOR LOCATIONS OF LIGHT FIXTURES, OUTLETS, SWITCHES, AND FANS
3. GENERAL CONTRACTOR TO PROVIDE ELECTRICAL INFRASTRUCTURE, WIRING, AND GROUNDING TO COMPLY WITH ALL CODES AND STANDARDS REQUIRED BY THE CITY OF SAN ANTONIO.
4. SEE FLOOR PLANS AND INTERIOR ELEVATIONS FOR PLUMBING FIXTURE LOCATIONS IN RELATION TO ADJACENT BUILDING COMPONENTS.
5. GENERAL CONTRACTOR TO PROVIDE PLUMBING INFRASTRUCTURE AND TO COMPLY WITH CODES AND STANDARDS REQUIRED BY THE CITY OF SAN ANTONIO
6. SEE INTERIOR ELEVATIONS FOR LOCATION OF APPLIANCES, COVER PANELS, AND HANDLE LOCATIONS
7. GENERAL CONTRACTOR TO PROVIDE PLUMBING AND ELECTRICAL INFRASTRUCTURE AS REQUIRED PER APPLIANCE MANUFACTURERS' INSTRUCTIONS
8. BATH ACCESSORIES TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR

seal

Not for  
construction,  
permitting or  
regulatory approval

date: November 11, 2022

architect

pamas

project name

**Prado Residence**  
Remodel and Addition  
2227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title

## Project Schedules - Appliances, Plumbing Fixtures

## phase

CD

revisions

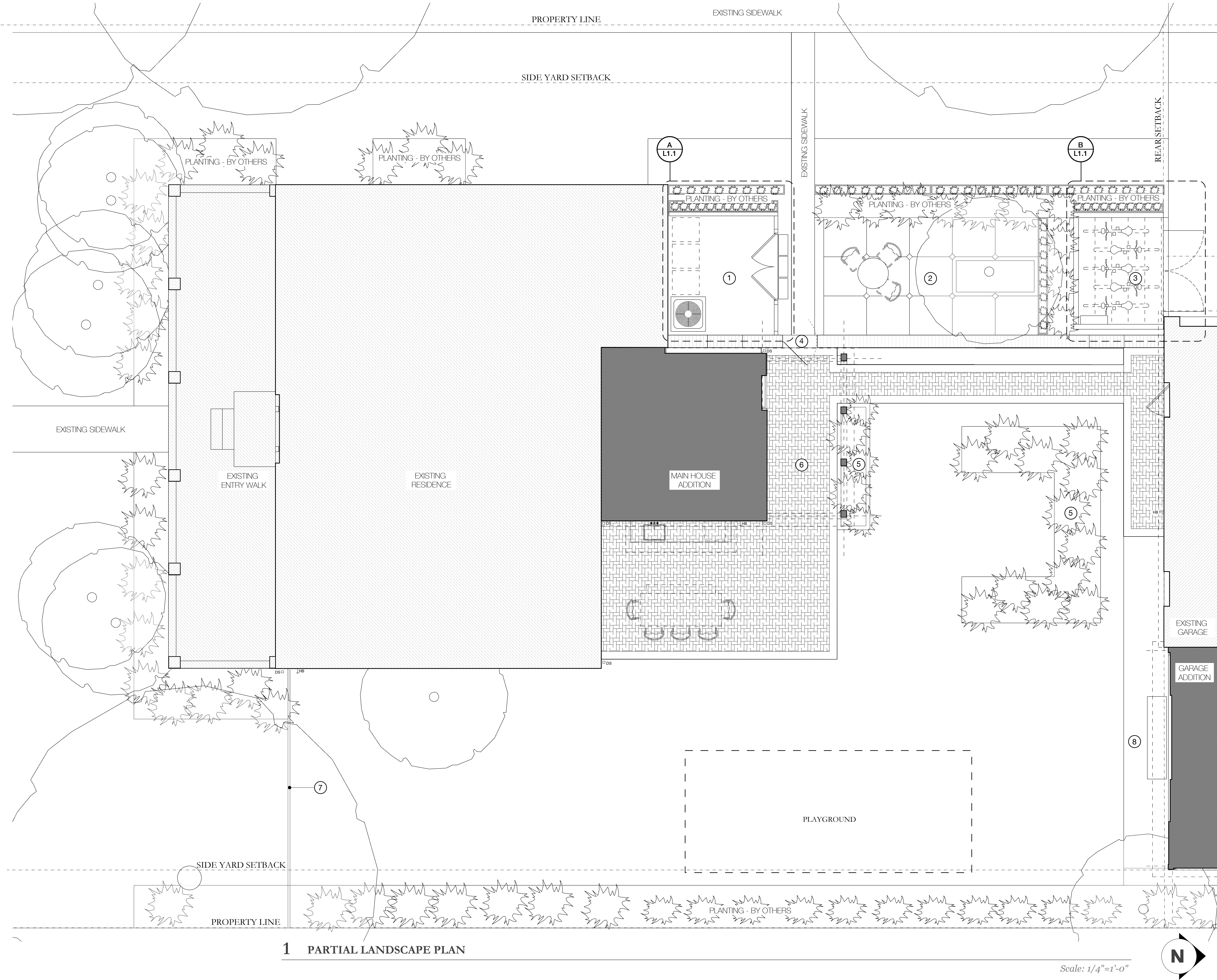
drawing number

## A6.5

11/11/2022

Scale: N/A





GENERAL NOTES

1. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONDITIONS UNCOVERED UPON DEMOLITION

- LEGEND
- EXISTING MASONRY SITE WALL
  - EXISTING STRUCTURE
  - NEW ADDITION
  - NEW BRICK PAVERS, HERRINGBONE COURSING. REFER TO FINISH SCHEDULE FOR SPECIFICATIONS
  - DOWNSPOUT
  - HOSE BIB

- NOTES
- UTILITY YARD
  - NEW PERVIOUS TERRACE
  - BIKE STORAGE
  - EXISTING GATE AT EXISTING MASONRY SITE WALL
  - HERB GARDEN
  - NEW PAVED PATIO
  - RELOCATED WROUGHT IRON FENCE
  - NEW PAVED WALK

seal

Not for construction, permitting or regulatory approval

date: November 27, 2022

architect

**pamas**

Paul And Mason Architecture Shop  
1149 E. Commerce St  
San Antonio, TX 78205

project name

**Prado Residence**  
Remodel and Addition  
227 W. Gramercy Place,  
San Antonio, TX 78212

sheet title

**Landscape Paving Plan**

phase

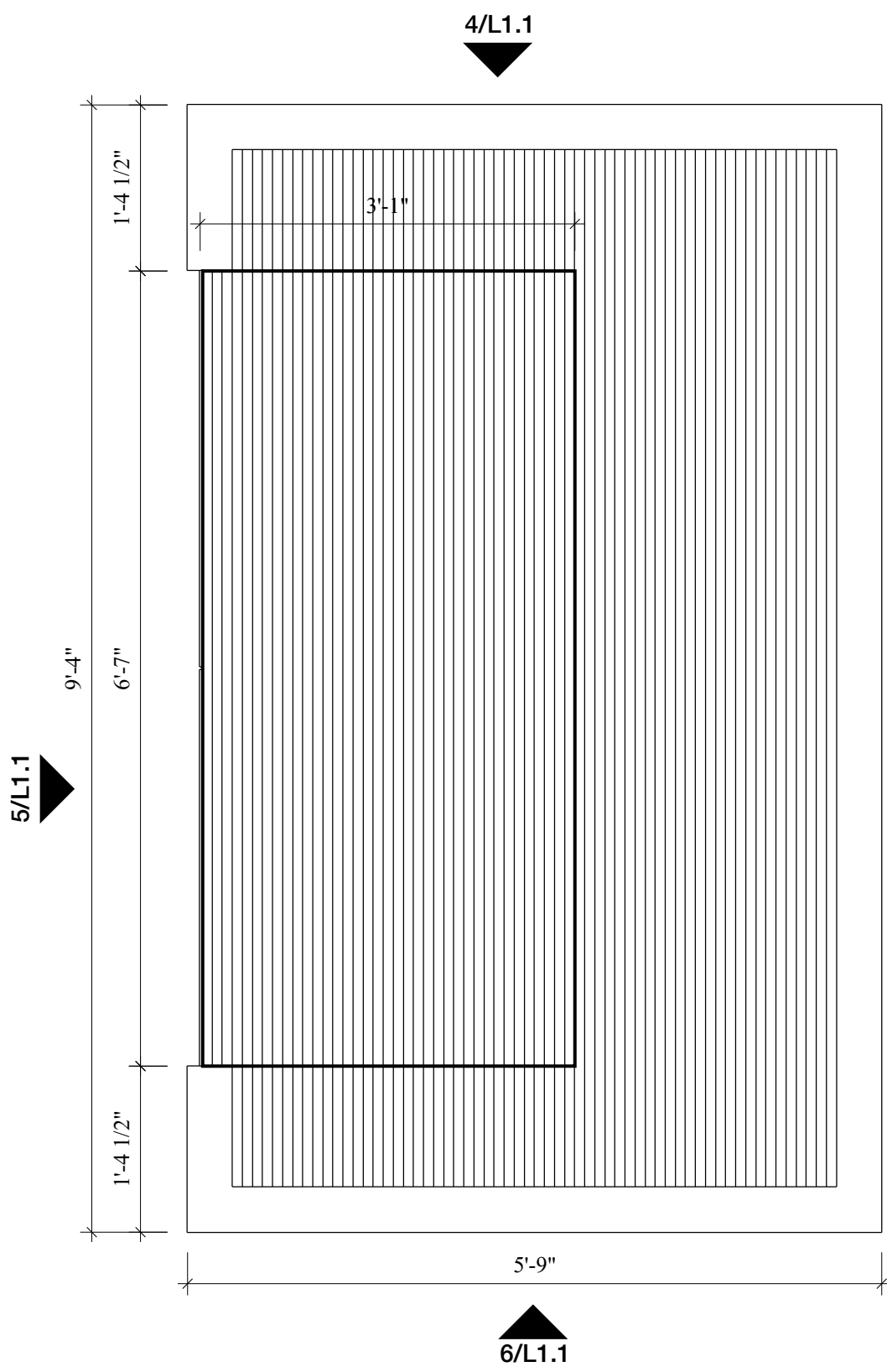
**CD**

revisions

drawing number

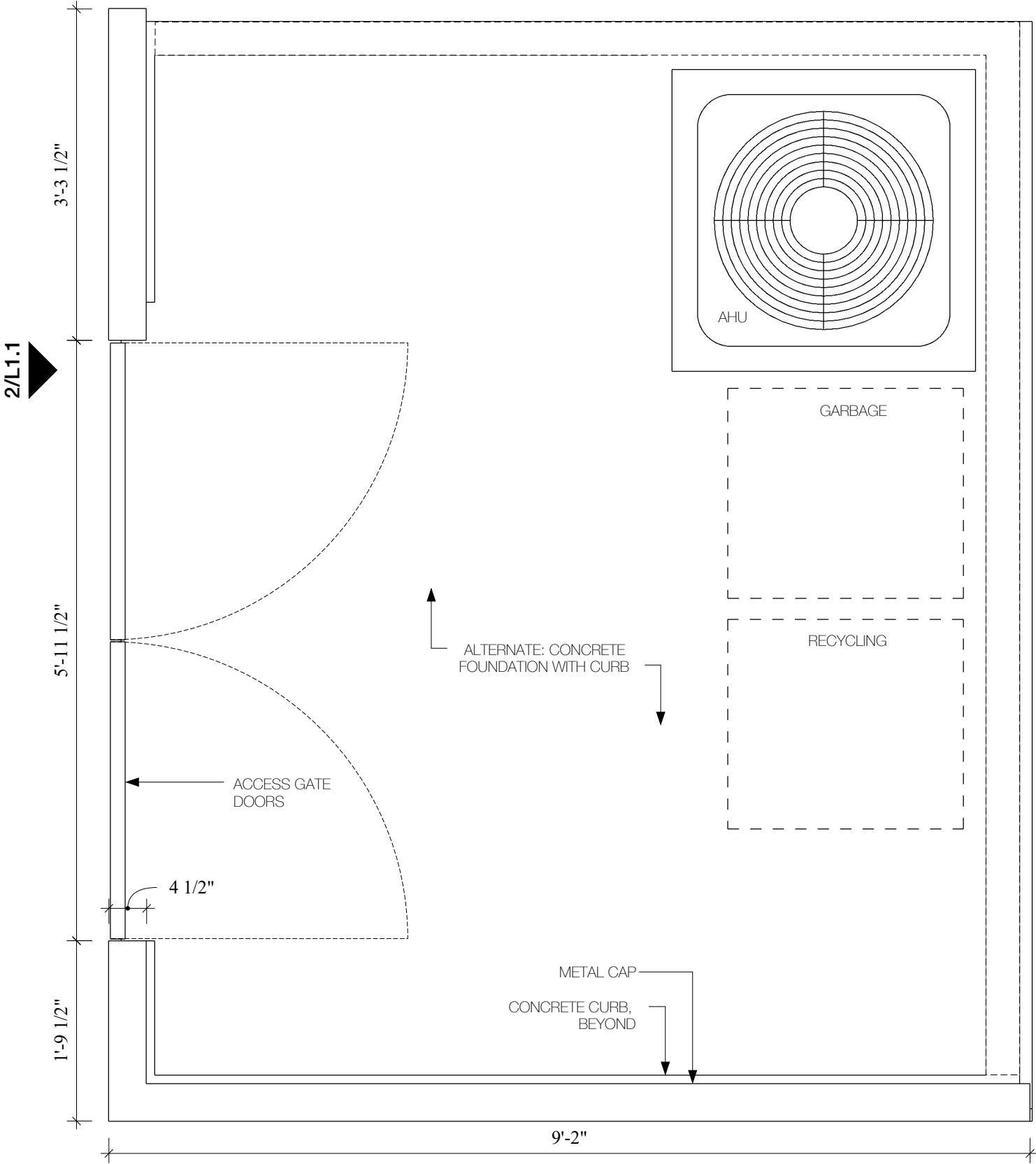
**L1.0**

11/27/2022



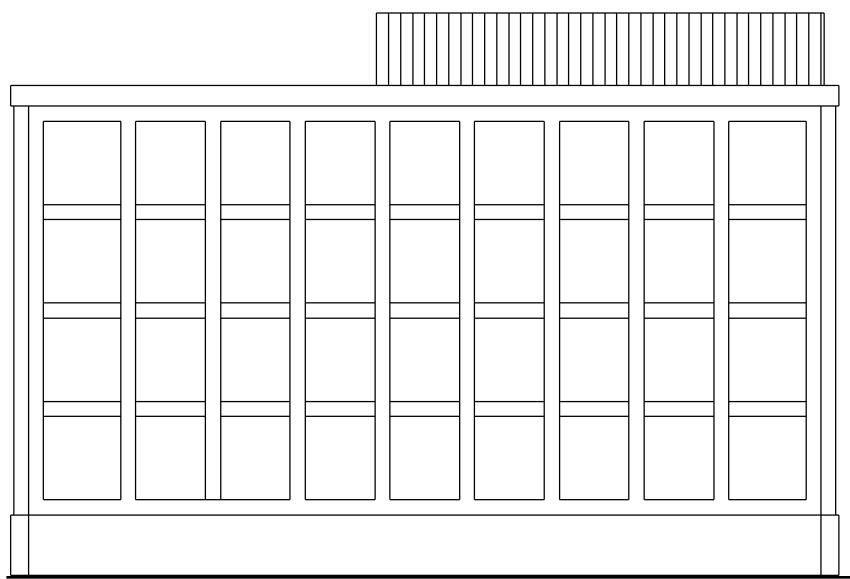
**B** BIKE ENCLOSURE - ROOF PLAN

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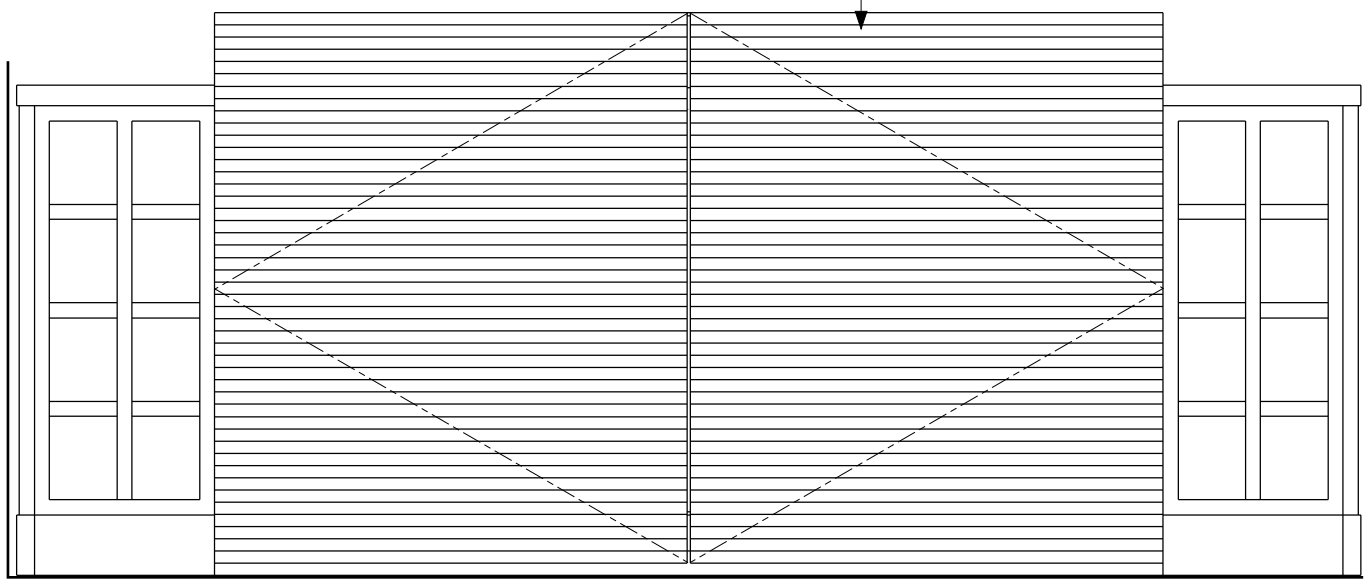


**A** UTILITY YARD ENCLOSURE - ROOF PLAN

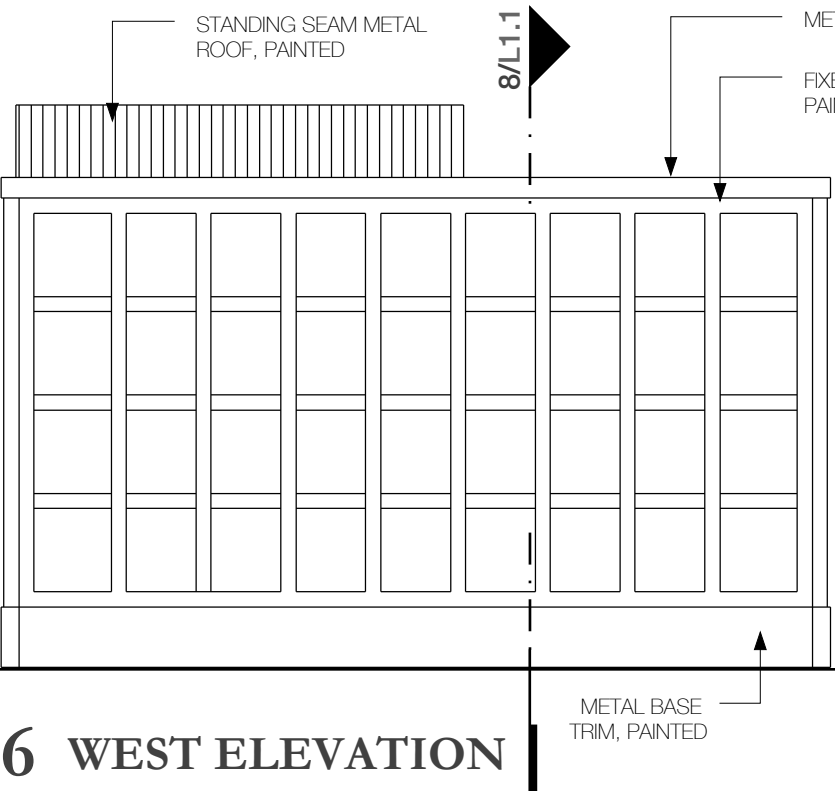
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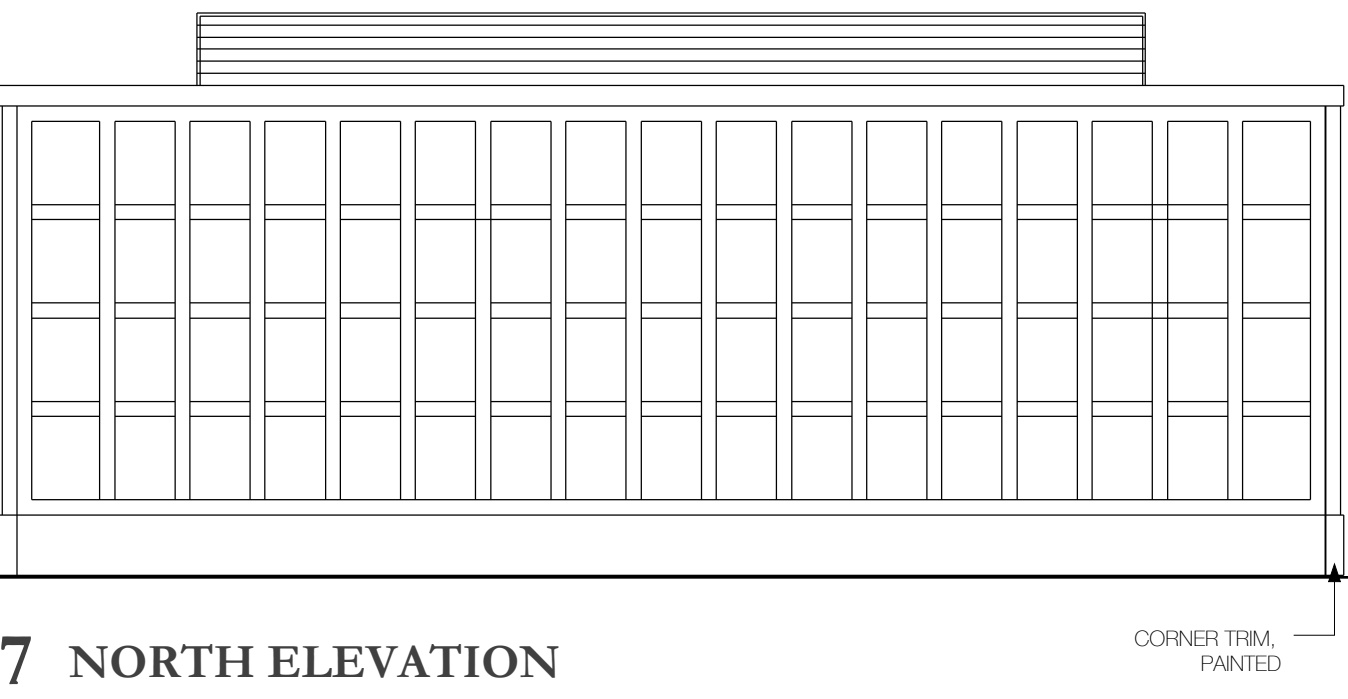
**4** EAST ELEVATION



**5** SOUTH ELEVATION

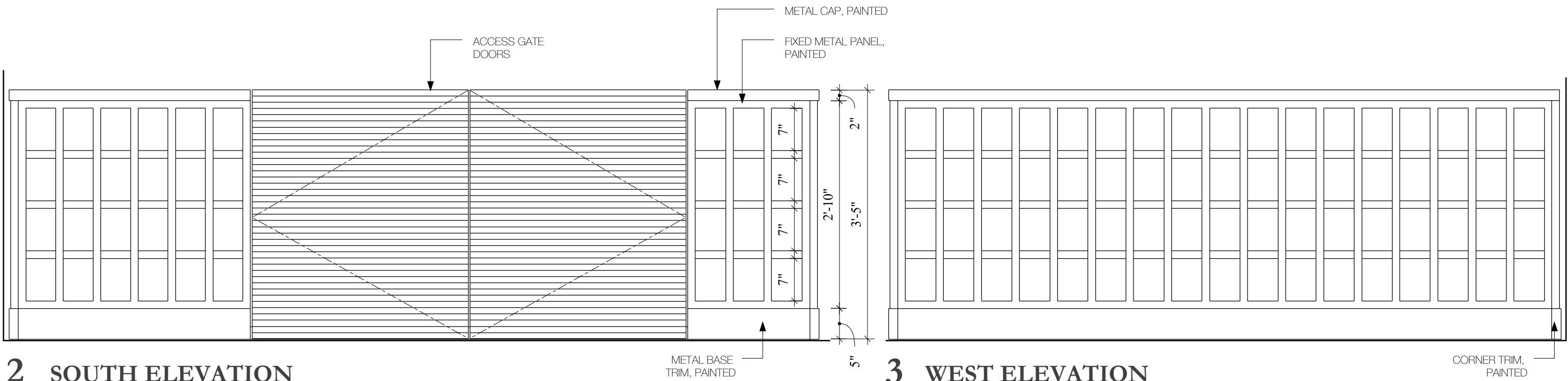


**6** WEST ELEVATION



**7** NORTH ELEVATION

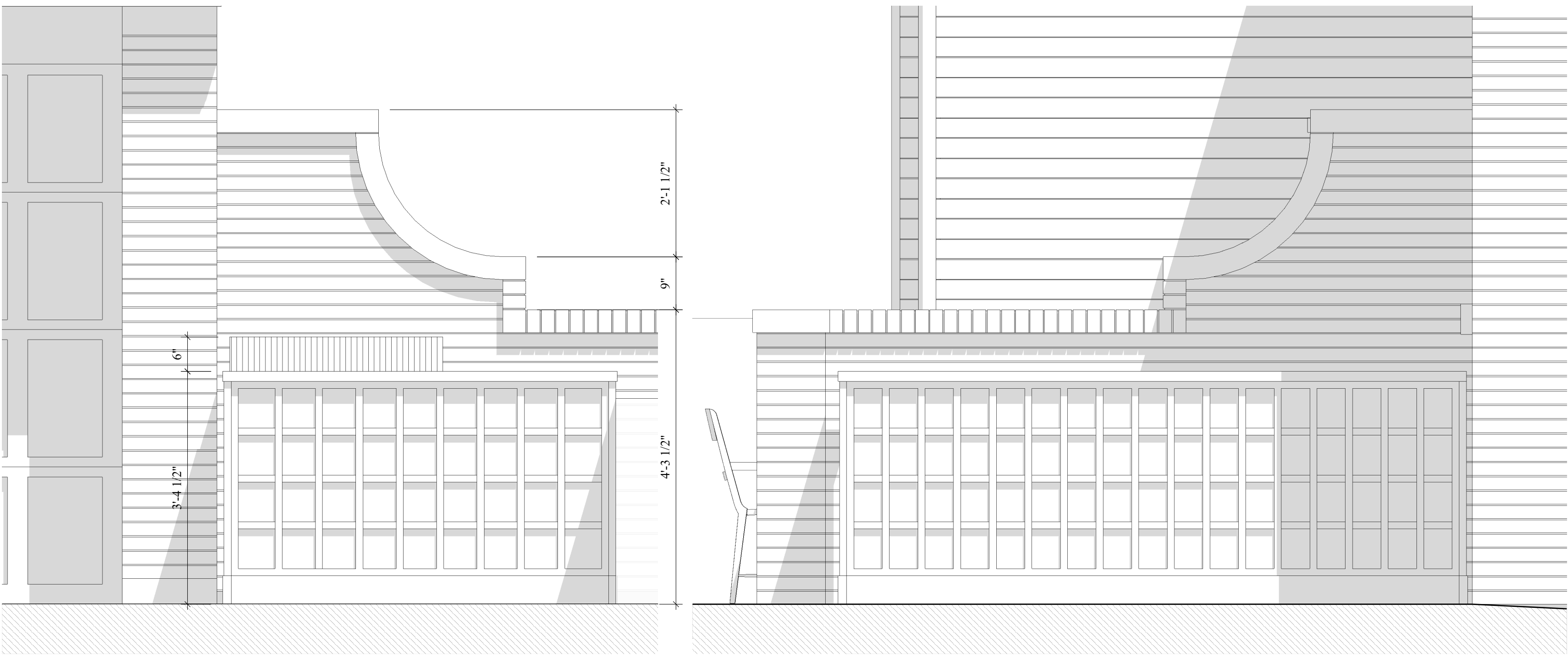
BIKE ENCLOSURE - ELEVATIONS



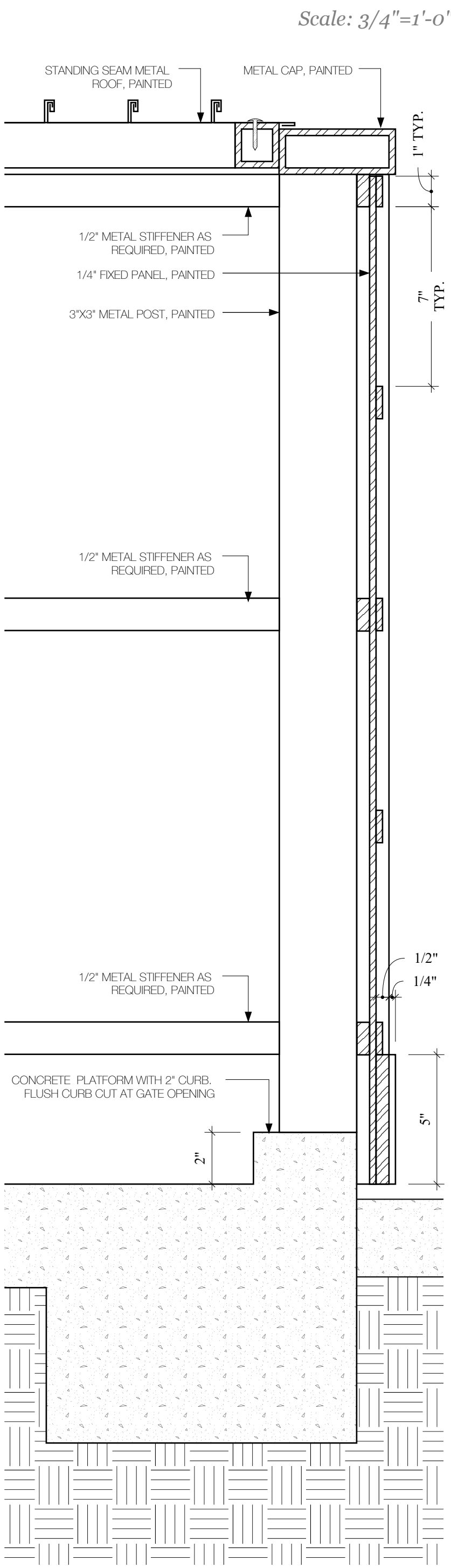
**2** SOUTH ELEVATION

**3** WEST ELEVATION

UTILITY ENCLOSURE - ELEVATIONS



**1** WEST SITE ELEVATION



**8** WEST SITE ELEVATION

Scale: 3/4"=1'-0"

Scale: 3"=1'-0"

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sheet title

**Landscape Details**

phase

**CD**

revisions

drawing number

**L1.1**

11/27/2022



































































